

BAY CLUB AT FRISCO

CONDOMINIUMS

FRISCO, COLORADO

97-046
97-047
97-048

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E5 TYPICAL FOUNDATION/GARAGE ELECTRICAL PLAN
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OWNER

LOUP DEVELOPMENT
44 INVERNESS DR. EAST
ENGLEWOOD, COLORADO 80112
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AURORA, COLORADO 80014
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CONTRACTOR

LOUP CONSTRUCTION CO.
44 INVERNESS DR. EAST
ENGLEWOOD, COLORADO 80112
(303) 798-6282

APPROVED, FOR ISSUANCE
OF BUILDING PERMIT

DATE 3/7/97
PERMIT
BY [Signature]



GENERAL NOTES

- DO NOT SCALE DRAWINGS. USE DIMENSIONS AS CALLED FOR. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDY WALL OR CONCRETE ON CENTER LINE, AS INDICATED (UNLESS NOTED OTHERWISE. (U.N.O.))
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES AND ORDINANCES CURRENTLY IN FORCE.
- IF ANY ERRORS, OMISSIONS OR DISCREPANCIES ARE NOTED ON THE DRAWINGS, ARCHITECTURAL AND ENGINEER SHALL BE SO NOTICED. NO LATE CORRECTIONS WILL BE MADE. THE ARCHITECT'S AND ENGINEER'S RESPONSIBILITY IS LIMITED TO THE CONSTRUCTION OF THIS PROJECT. THE ARCHITECT AND ENGINEER SHALL BE HELD RESPONSIBLE FOR THE RESULT OF SUCH ERROR, OMISSION OR DISCREPANCY.
- ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH SECTION 1754 OF THE U.B.C.
- PROVIDE INSULATION AS FOLLOWS:

EXTERIOR WALLS	R-13
ATTIC OVER HEATED SPACE	R-30
FLOORS BETWEEN UNITS	R-11
DEMISING WALLS	R-11 UNFACED
- SEAL ALL PENETRATIONS OF THE ONE-HOUR ASSEMBLIES AS REQUIRED BY CODE.
- PROVIDE WEATHER RESISTANT COATING OR PENETRATION TREATMENT TO EXPOSED WOODS USED FOR EXTERIOR DECKS. WOOD IS NOT NATURALLY RESISTANT TO DECAY AS PER UBC SECTION 2317.12.

LEGEND

-  **SECTION REFERENCE**
DETAIL NUMBER (TYP. ALL SECTIONS, DETAILS, ETC.)
DRAWING PAGE NUMBER (TYP. ALL SECTIONS, DETAILS, ETC.)
-  **BUILDING SECTION REFERENCE**
-  **INTERIOR ELEVATION REFERENCE**
-  **LARGE SCALE DETAIL REFERENCE**
-  **ELEVATION MARKER**
MAJOR ELEVATION REFERENCE OF FLOORS, BEARINGS, ETC. - PLAN REFERENCE 100'-0" = FIRST FLOOR ELEVATION
-  **SPOT ELEVATION**
TOP OF FINISH MATERIAL (UND)-PLAN REFERENCE 100'-0" = FIRST FLOOR ELEVATION
-  **DROPPED CEILING**
1'-0" BELOW TYPICAL CEILING HEIGHT (UND)
-  **DOOR MARKER**
-  **WINDOW MARKER**
-  **REFERENCE NOTE**
-  **FLAG NOTE**
-  **DIRECTION OF SLOPE**

TYPE 1 BUILDING DATA

1991 UNIFORM BUILDING CODE
 NUMBER OF UNITS: 12
 NUMBER OF STORIES: 2-1/2
 OCCUPANCY: R-1
 CONSTRUCTION TYPE: I
 TYPE V - 1 HOUR

GROSS FLOOR AREA:		TOTAL
FIRST	SECOND	
4,978.32	8,808.84	11,687.16
ALLOWABLE FLOOR AREA:		TOTAL
FIRST	SECOND	
10,500	10,500	21,000

TYPE 2 BUILDING DATA

1994 UNIFORM BUILDING CODE
 NUMBER OF UNITS: 12
 NUMBER OF STORIES: 2-1/2
 OCCUPANCY: R-1
 CONSTRUCTION TYPE: I
 TYPE V - 1 HOUR

GROSS FLOOR AREA:		TOTAL
FIRST	SECOND	
7,439.48	10,035.24	17,474.72
ALLOWABLE FLOOR AREA:		TOTAL
FIRST	SECOND	
10,500	10,500	21,000

TYPE 3 BUILDING DATA

1994 UNIFORM BUILDING CODE
 NUMBER OF UNITS: 12
 NUMBER OF STORIES: 2-1/2
 OCCUPANCY: R-1
 CONSTRUCTION TYPE: I
 TYPE V - 1 HOUR

GROSS FLOOR AREA:		TOTAL
FIRST	SECOND	
7,439.48	10,035.24	17,474.72
ALLOWABLE FLOOR AREA:		TOTAL
FIRST	SECOND	
10,500	10,500	21,000

97-046
 97-047
 97-048

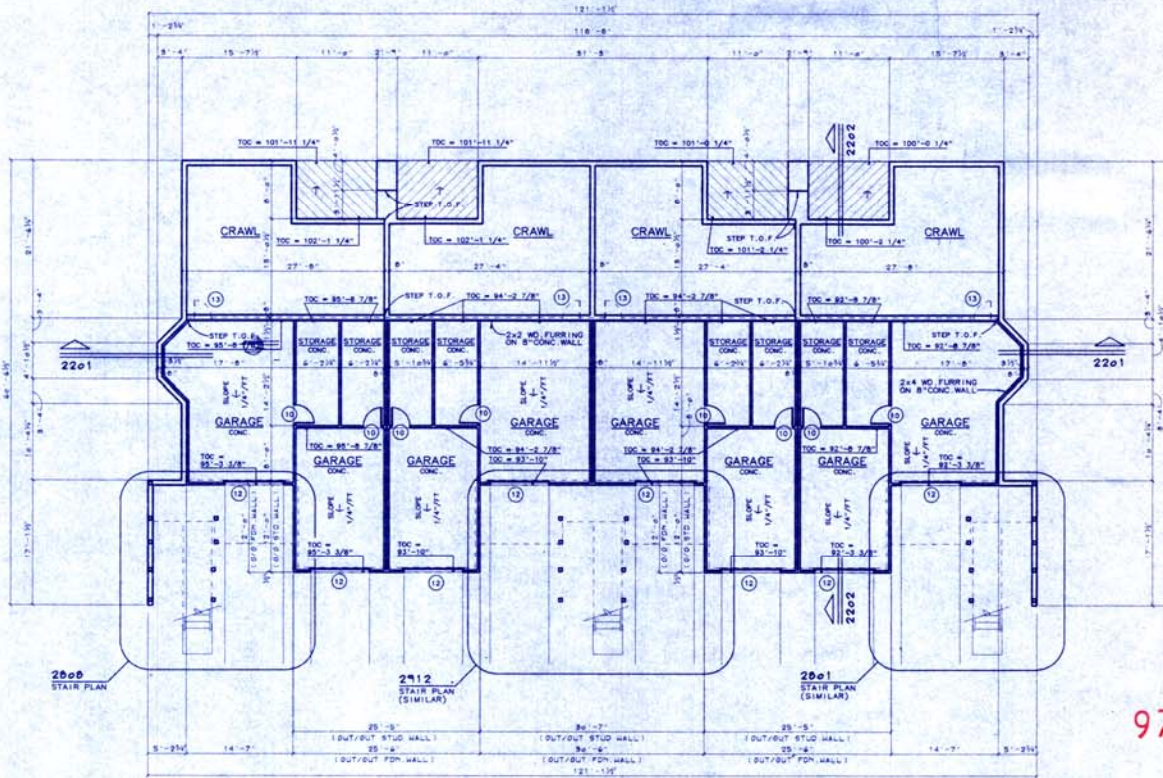
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1	7-22-97	



THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR
 LOUP DEVELOPMENT

GENERAL NOTES

project no.	96122
date	5-28-97
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checked	
sheet	
GN-1	



BUILDING ONE - FOUNDATION / GARAGE PLAN

NOTE: REFER STRUCTURAL FOUNDATION DRAWINGS FOR FOUNDATION WALL STEP INFORMATION

97-046

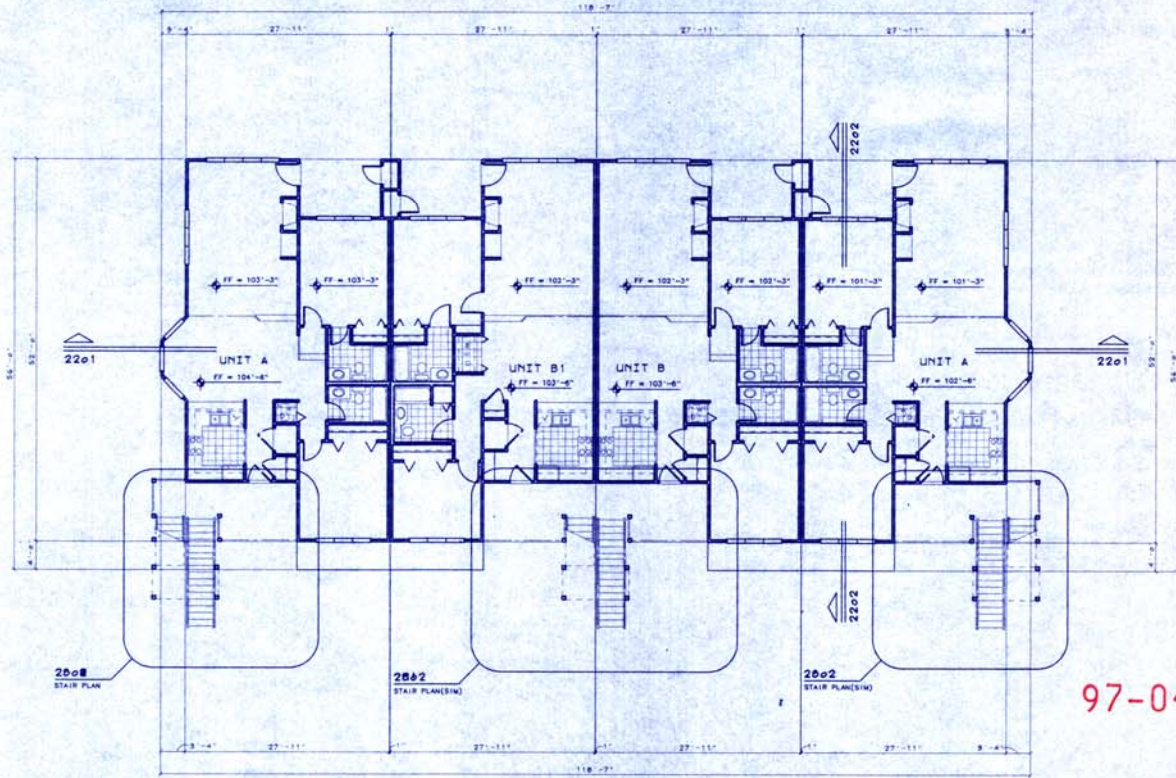
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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

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sheet	A-1



97-046

BUILDING ONE - FIRST FLOOR PLAN

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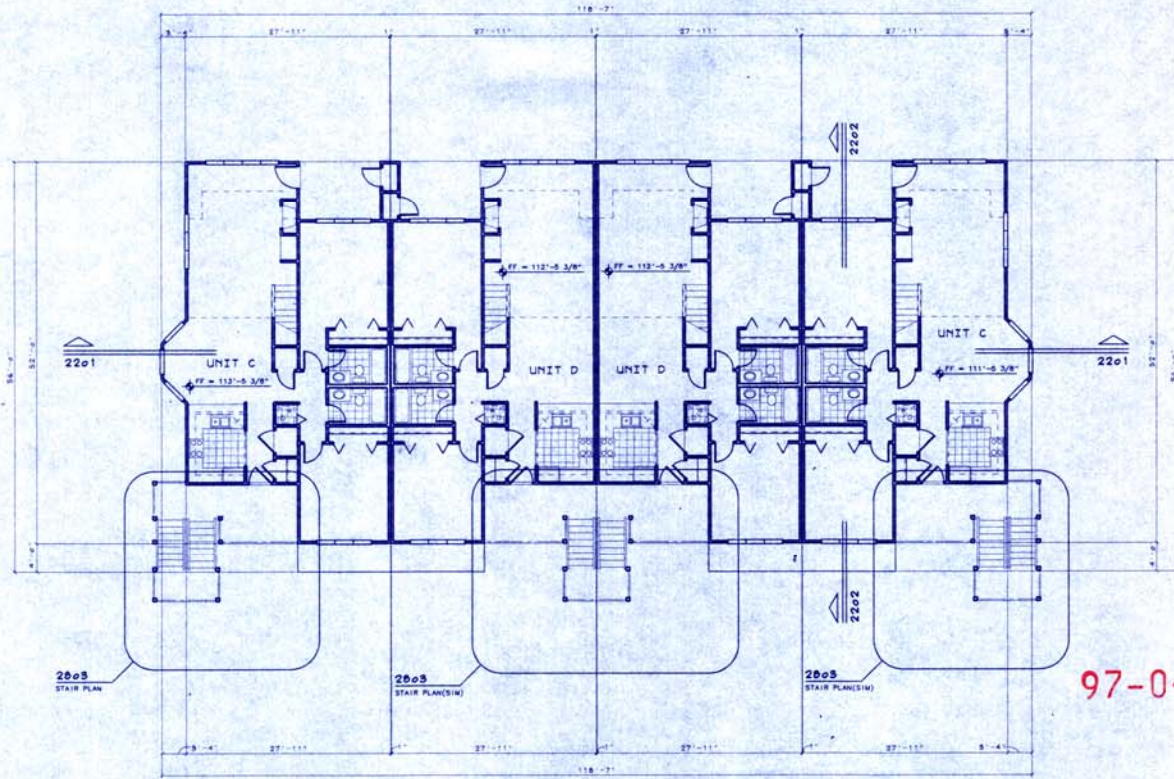


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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

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date	5-28-97
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sheet	

A-2



BUILDING ONE - SECOND FLOOR PLAN

97-046

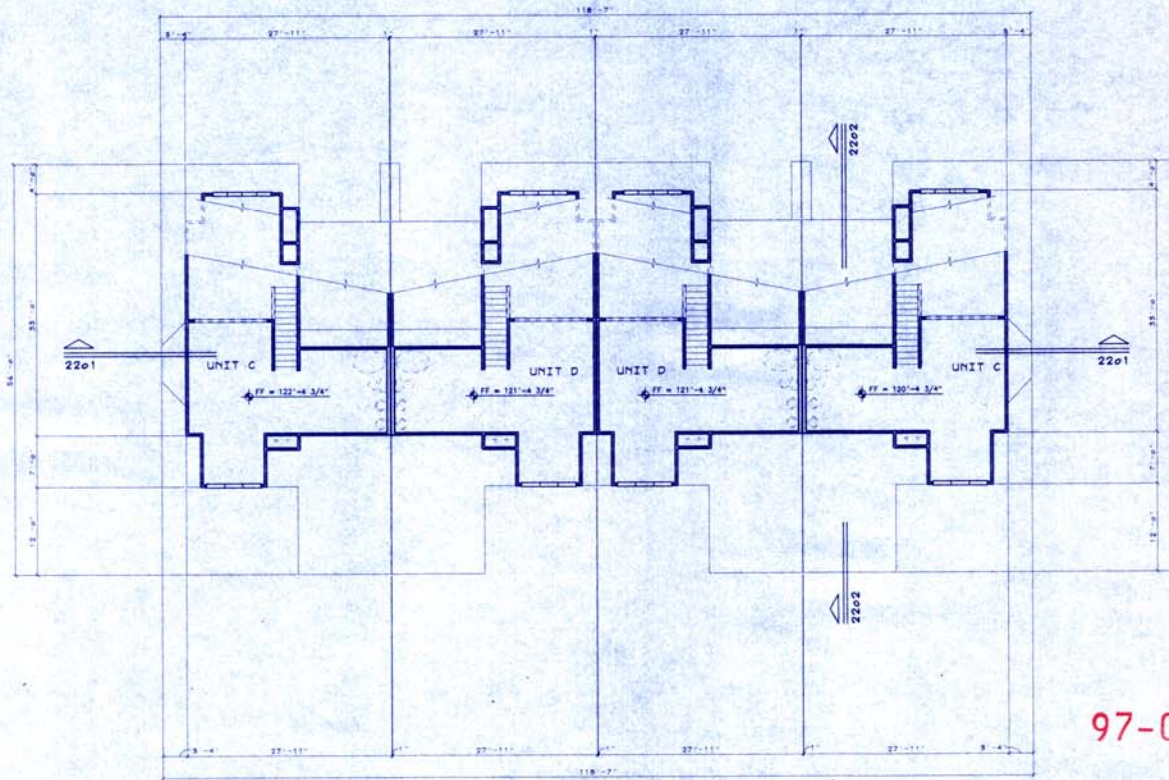
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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

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sheet	A-3



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BUILDING ONE - LOFT PLAN

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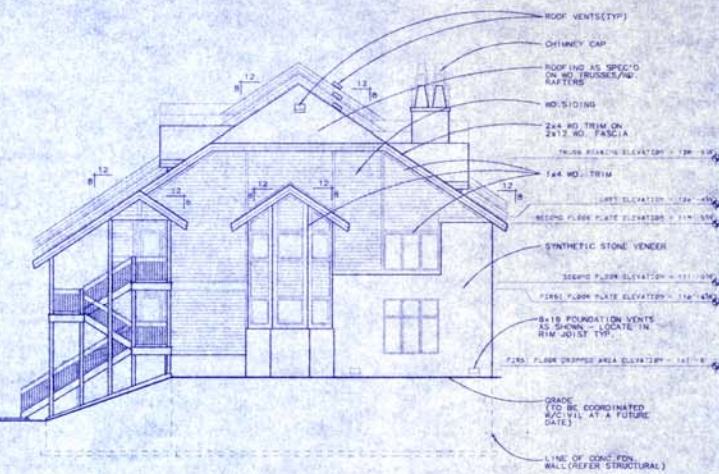
THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

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checked
sheet

A-4



FRONT ELEVATION



RIGHT SIDE ELEVATION

revision no.	date	by
1	7-22-91	



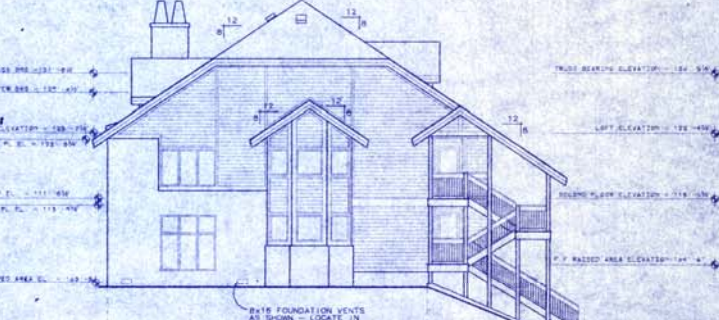
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 10000 W. ALPINE DRIVE, SUITE 100
 DENVER, COLORADO 80231

97-046

- NOTES:
1. FOUNDATIONS SUPPORTING WOOD FRAMING ARE TO BE A MIN. OF 6 ABOVE THE ADJACENT GRADING ELEVATIONS.
 2. ALL LAMBS IN CONTACT WITH CONCRETE OR MASONRY OR WITH FINISHED GRADE IS REQUIRED TO BE TREATED WOOD OR BRUNOOL.
 3. ALL BUILDING PADS ARE TO BE GRADED A MINIMUM OF 28 AWAY FROM BLDGS.



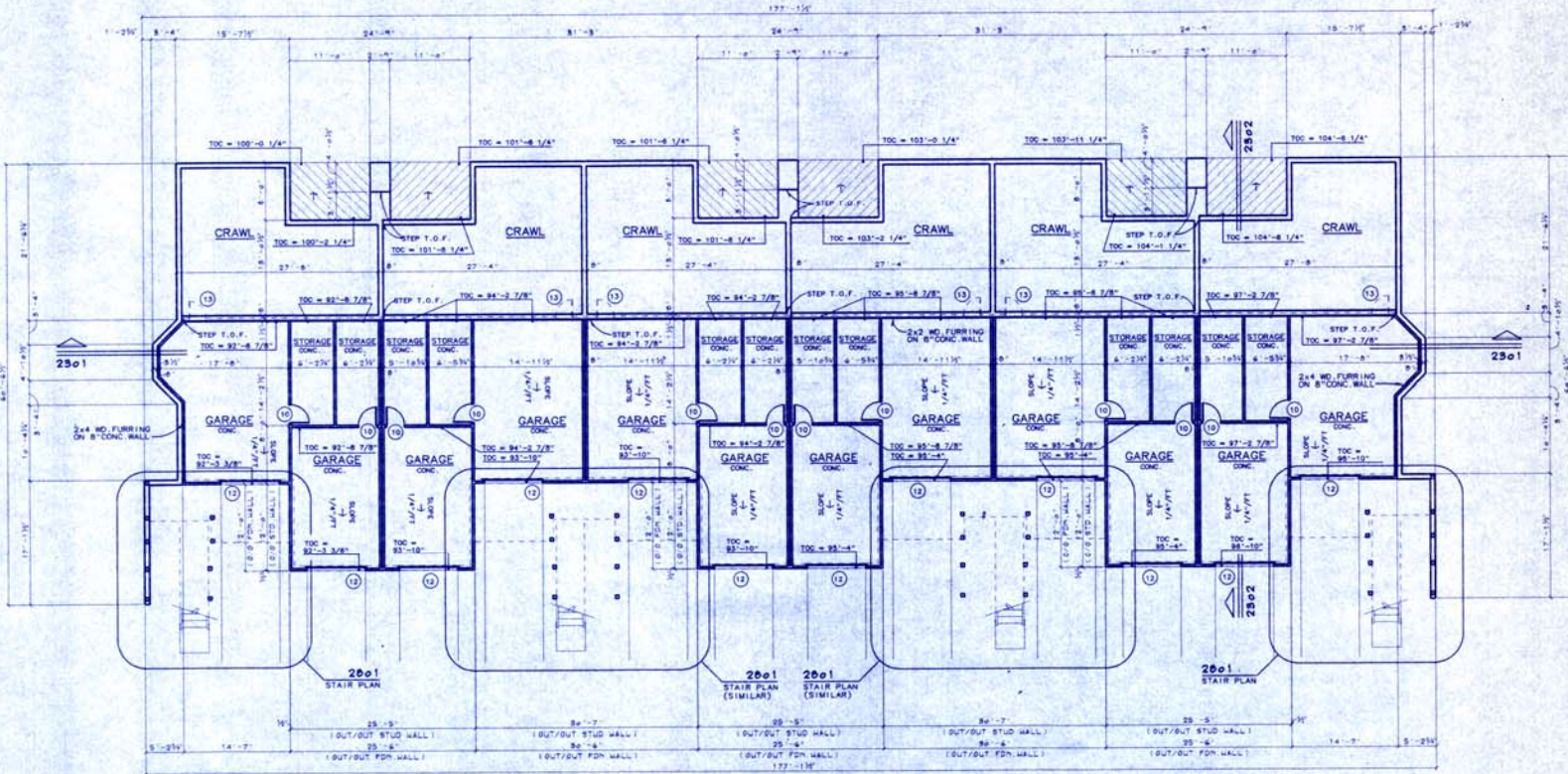
REAR ELEVATION



LEFT SIDE ELEVATION

THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

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drawn	
checked	
sheet	A-6



BUILDING TWO - FOUNDATION / GARAGE PLAN

NOTE:
REFER STRUCTURAL FOUNDATION
DRAWINGS FOR FOUNDATION
WALL STEP INFORMATION

97-047

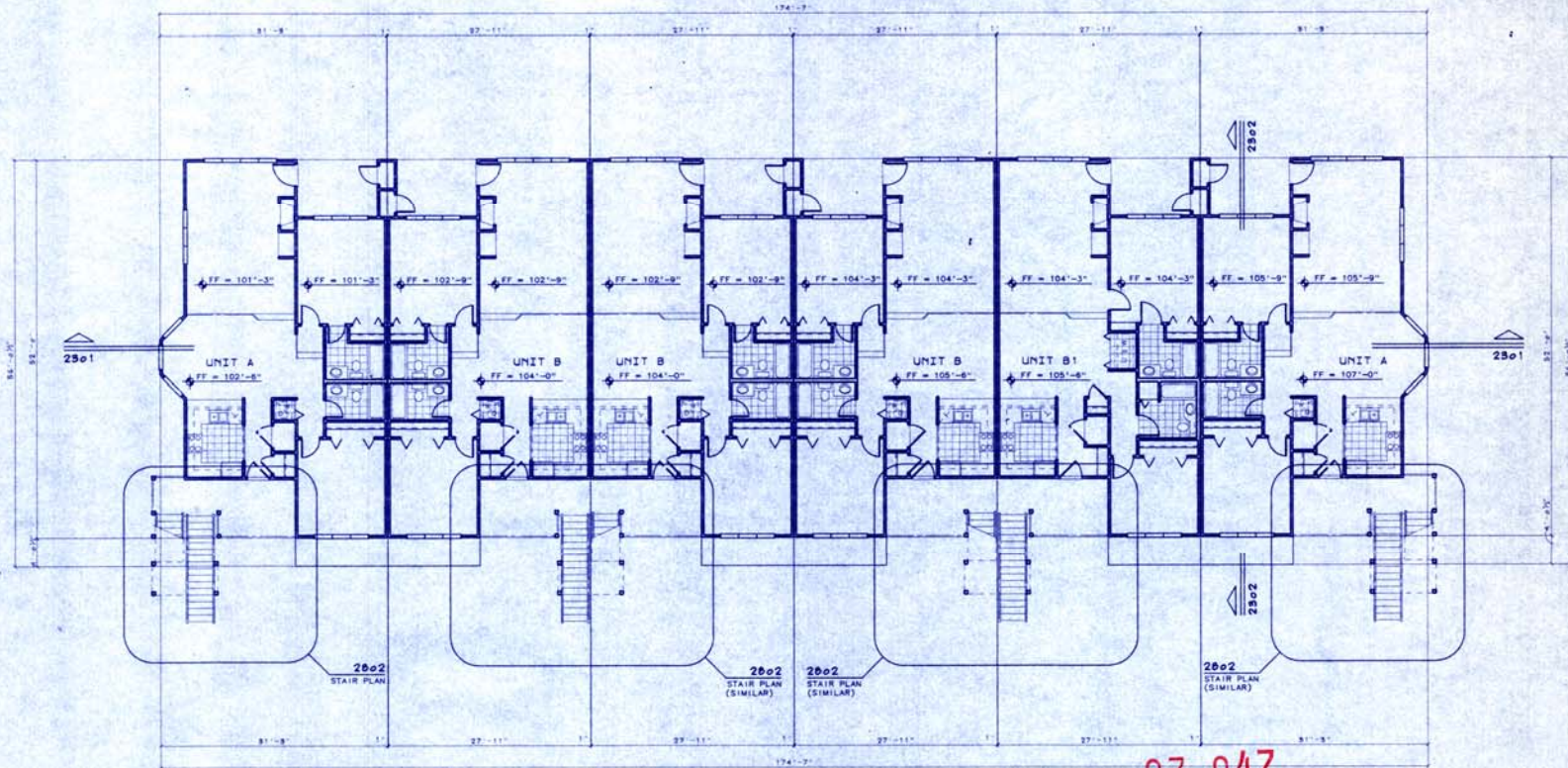
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THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

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BUILDING TWO - FIRST FLOOR PLAN

97-047

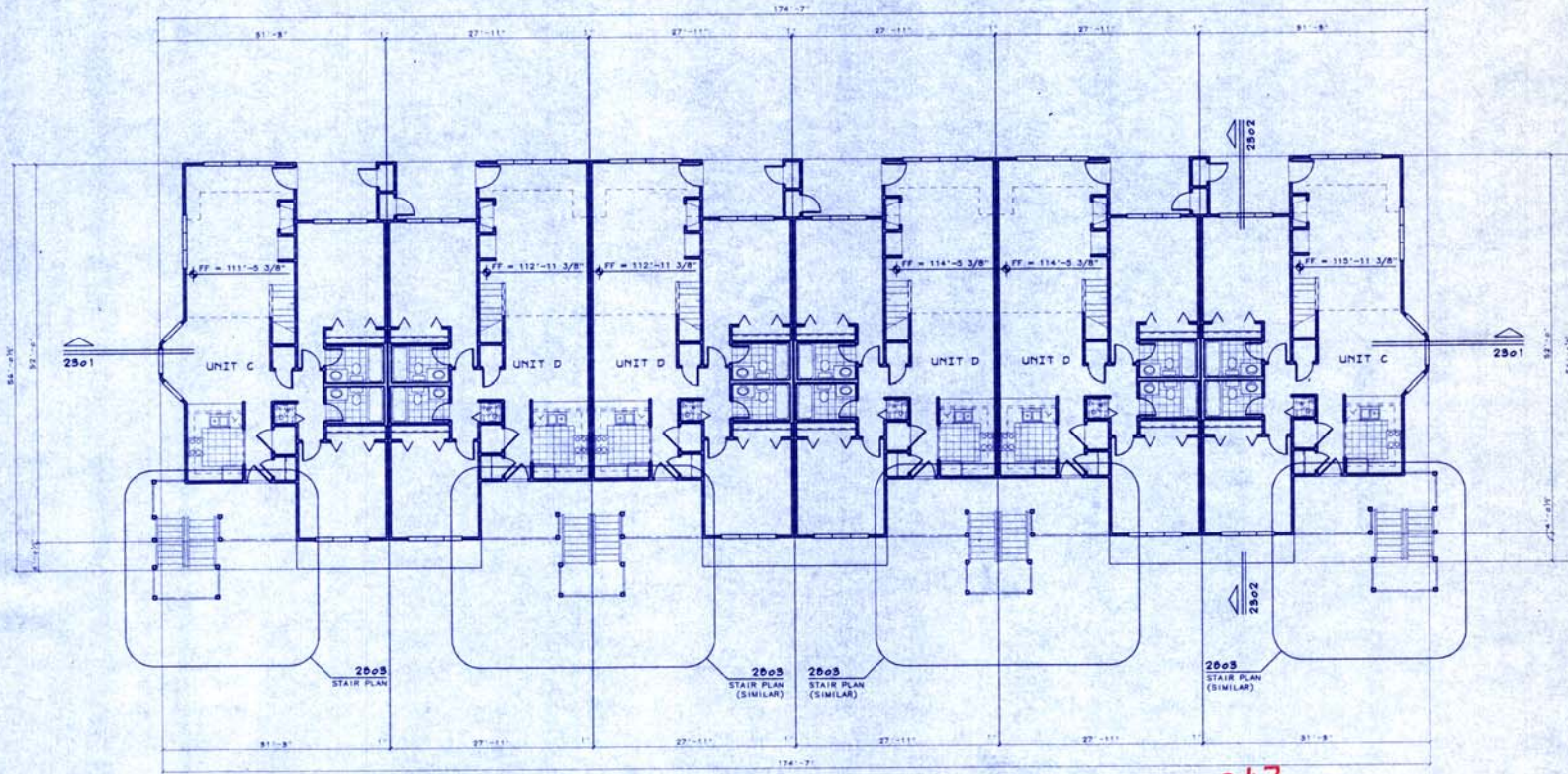
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THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

project no. 96122
 date 5-16-11
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 sheet **A-8**



BUILDING TWO - SECOND FLOOR PLAN

97-047

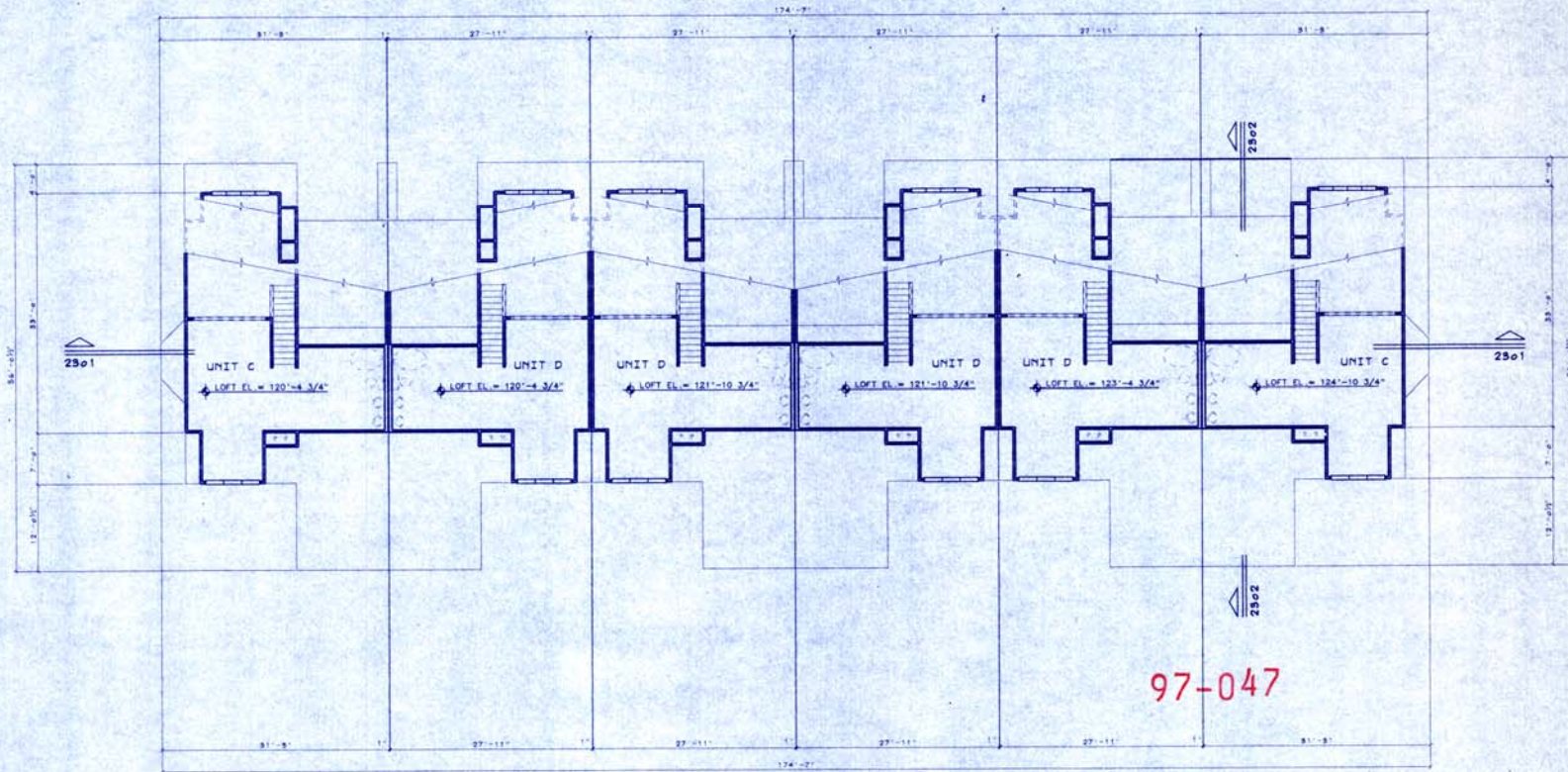
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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOOP DEVELOPMENT

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date 5-25-97
drawn
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sheet **A-9**



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BUILDING TWO - LOFT PLAN

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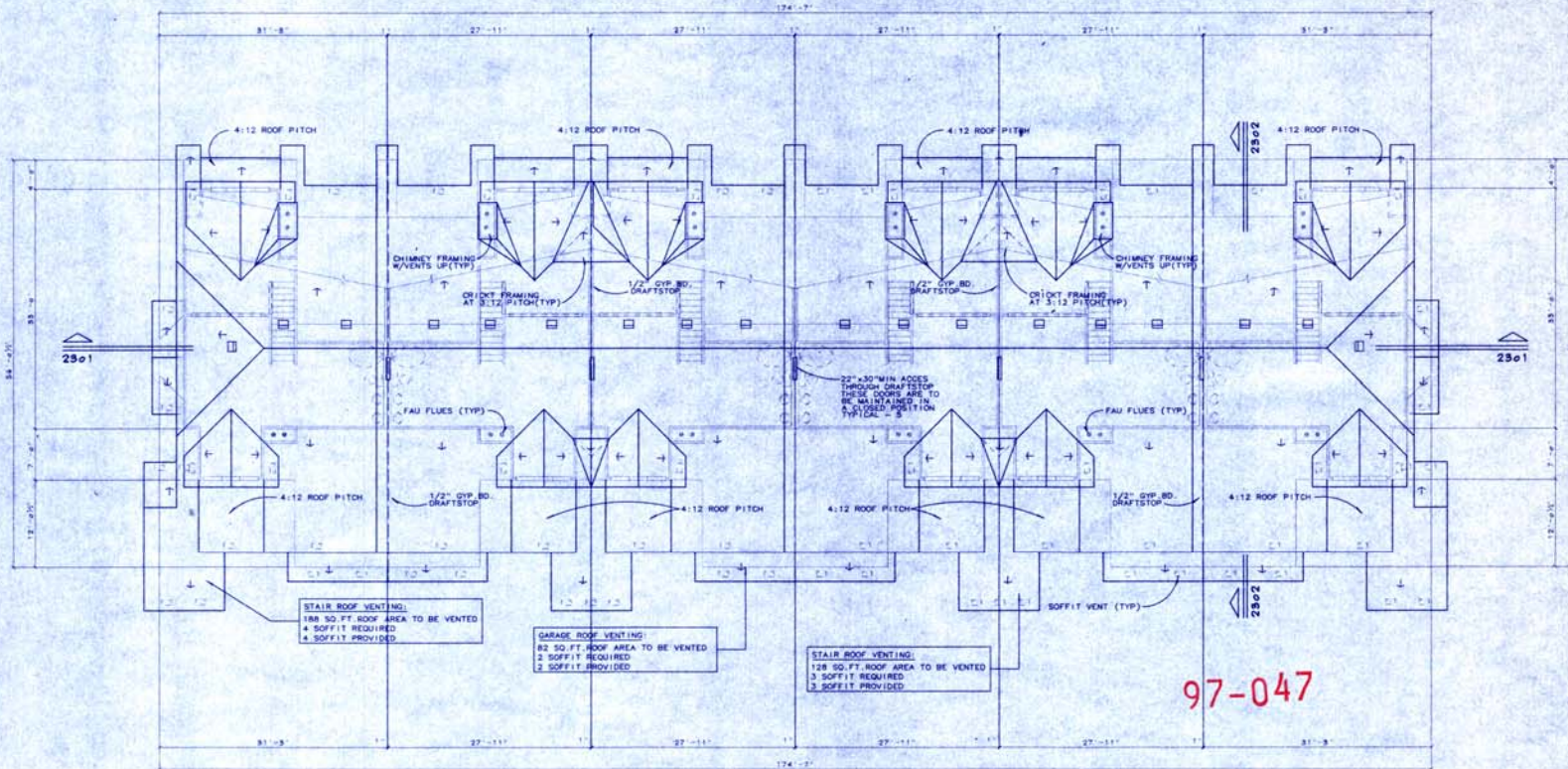


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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

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sheet	

A-10



BUILDING TWO - ROOF PLAN

NOTES:
 1. ALL ROOF PITCHES TO BE 8:12 UNLESS NOTED OTHERWISE.
 2. SNOW GUARDS ARE TO BE INSTALLED AS PER TOWN OF FRISCO REQUIREMENTS 96-1(30).

97-047

PROVIDE ATTIC VENTILATION AS FOLLOWS:
 - 1/150 OF UNIT ROOF AREA (REQ'D VENT'D AREA)
 - THE AREA MAY BE 1/200 OF THE AREA OF THE SPACE VENTILATED PROVIDED SOME OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 30" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 - AMPCOR RV-150 ROOF VENT (150 SQ. IN. VENTING)
 - AMPCOR UA-16-B SOFFIT VENT (56 SQ. IN. VENTING)

UNIT C - 1674 SQ. FT. ROOF AREA TO BE VENTED
 3 ROOF / 8 SOFFIT REQUIRED
 3 ROOF / 8 SOFFIT PROVIDED
 UNIT D - 1392 SQ. FT. ROOF AREA TO BE VENTED
 3 ROOF / 6 SOFFIT REQUIRED
 3 ROOF / 6 SOFFIT PROVIDED

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THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

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sheet	A-11

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THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

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 sheet A-12

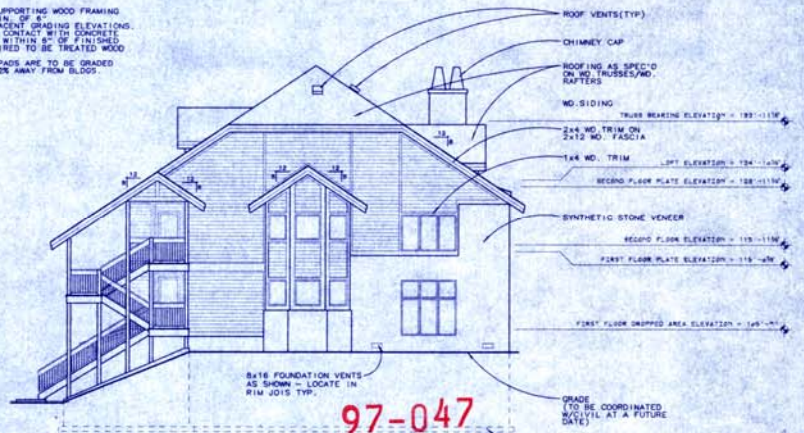


FRONT ELEVATION

- NOTES:
1. FOUNDATIONS SUPPORTING WOOD FRAMING ARE TO BE A MINIMUM OF 6" ABOVE THE FINISHED GRADING ELEVATIONS.
 2. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY OR WITH FINISHED GRADE IS REQUIRED TO BE TREATED WOOD OR REDWOOD.
 3. ALL BUILDING PADS ARE TO BE GRADED A MINIMUM OF 2" AWAY FROM BLOS.



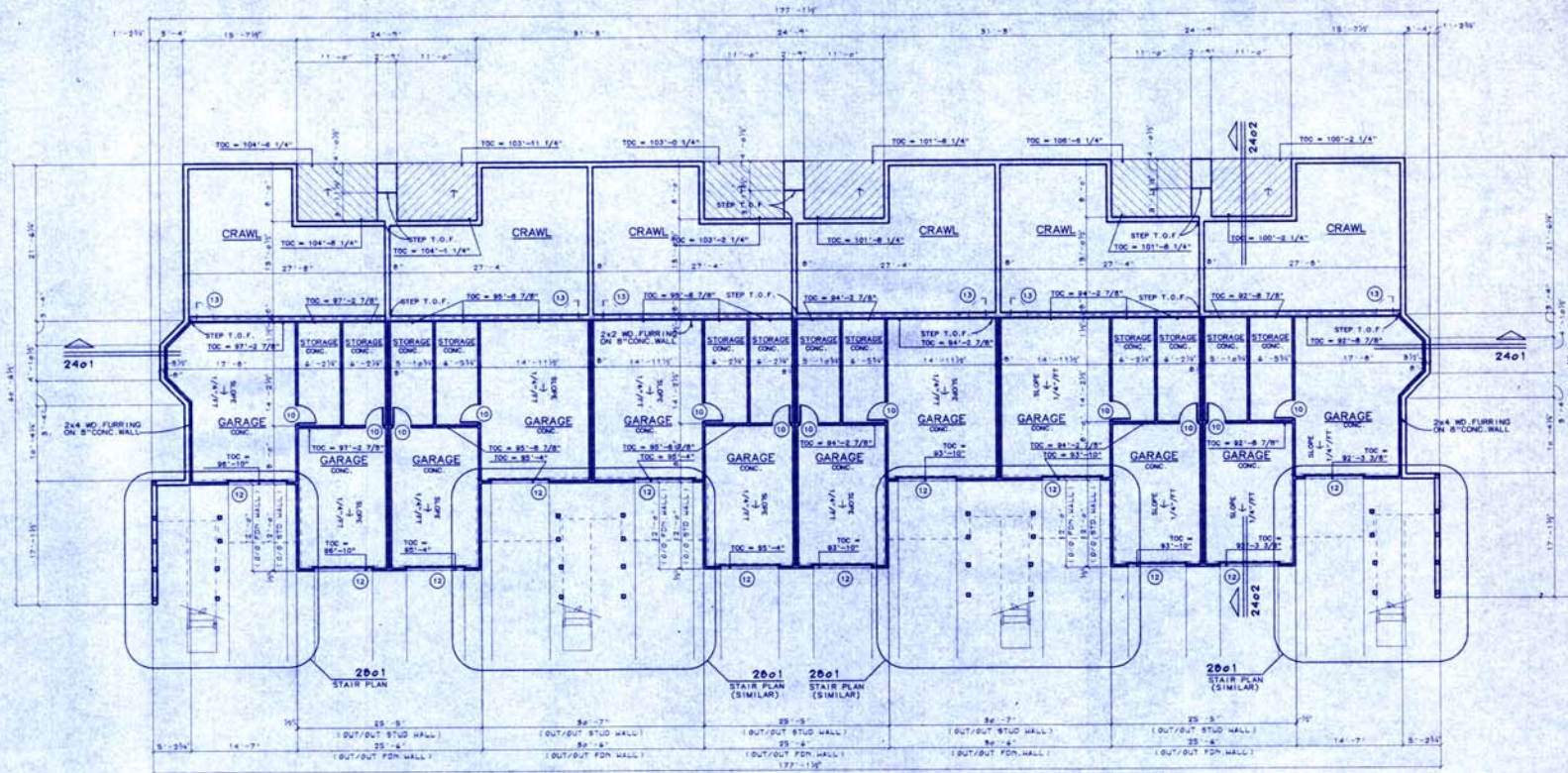
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



BUILDING THREE - FOUNDATION / GARAGE PLAN

NOTE:
REFER STRUCTURAL FOUNDATION
DRAWINGS FOR FOUNDATION
WALL STEP INFORMATION

97-048

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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOOP DEVELOPMENT

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MARTIN
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SECOND FLOOR FRAMING PLAN
THE BAY CLUB AT FRISCO
LOTS 3 & 4, RAIN TREE II
FRISCO, COLORADO
WAGNER ARCHITECTURAL TEAM

PROJECT NO. 97-046

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DRAWN BY: TD
CHECKED BY: HEP
PROJ. NO. 97-046
REVISION BY DATE

SHEET NUMBER

S10

SEE SHEET 06 FOR GENERAL FRAMING NOTES
ALL FLOOR FRAMING SHALL BE 5/8" TJI/BS # 16" O.C.
ALL DECK FRAMING SHALL BE 2x10 # 16" O.C.
ALL LEDGERS SHALL BE ANCHORED W/ 2- 3/4" LAG SCREWS # 16" O.C.
ALL BEAMS & HEADERS SHALL BE 2- 2x10 # 24" WALLS UNLESS NOTED OTHERWISE
FIRST FLOOR PLATE HEIGHT ABOVE RAISED AREA = 8'-0"
FIRST FLOOR PLATE HEIGHT ABOVE DROPPED AREA = 9'-3 1/4"
SECOND FLOOR PLATE ABOVE FINISHED FLOOR = 8'-0 3/4"
SEE SHEET A-22 FOR ROOF TRUSS BEARING ELEVATIONS
SEE SHEET A-23 FOR PLATE HEIGHT COORDINATION
ALL ROOF FRAMING SHALL BE WOOD TRUSSES OR 2x12 RAFTERS # 24" O.C. UNLESS NOTED OTHERWISE
TRUSS CONNECTIONS SHALL BE PROVIDED BY TRUSS MANUFACTURER
OVERFRAMING SHALL BE PIGGY-BACK TRUSSES OR DESIGNED INTO TRUSS SYSTEM WHENEVER POSSIBLE
CONVENTIONAL OVER-FRAME MEMBERS AS REQUIRED:
2x12 FOR SPANS GREATER THAN 12'
2x8 FOR SPANS FROM 8' TO 12'
2x6 FOR SPANS LESS THAN 8'

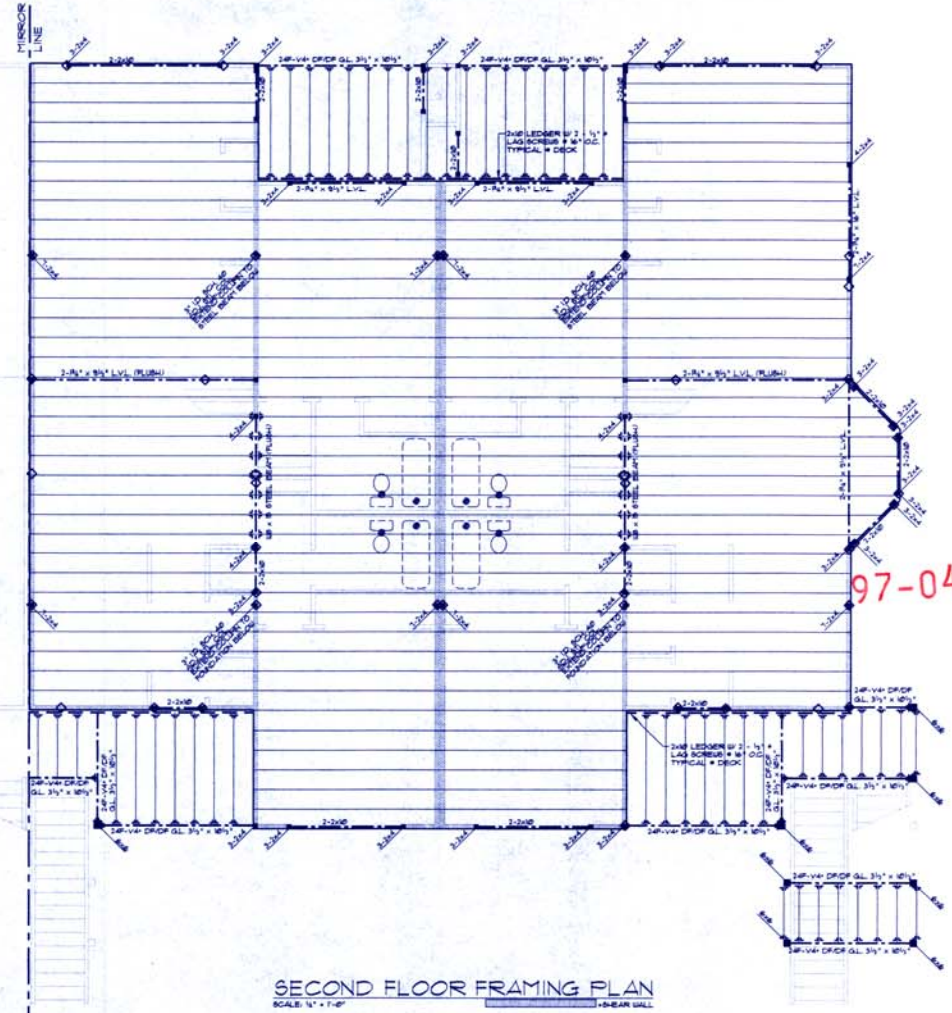
FRAMING HANGER TABLE
(UNLESS NOTED OTHERWISE)
INSTALL ALL HANGERS PER MANUFACTURER'S SPECIFICATIONS

JOIST/BEAM	TOP FLANGE NUMBER	FACE POINT NUMBER
1- 2x8	L208	L208
1- 2x10	L210	L210
2- 2x10	H4510-2T	H4510-2
1- 2x10	H4510-1T	H4510-1
2- 2x10	H4510-2T	H4510-2
1- 8x4	IT738	UT738
2- 8x4	GL7383	H4510
3 1/2" x 10 1/2" POST	-	H4510
3 1/2" x 10 1/2"	-	H4510

SHEAR WALL SCHEDULE

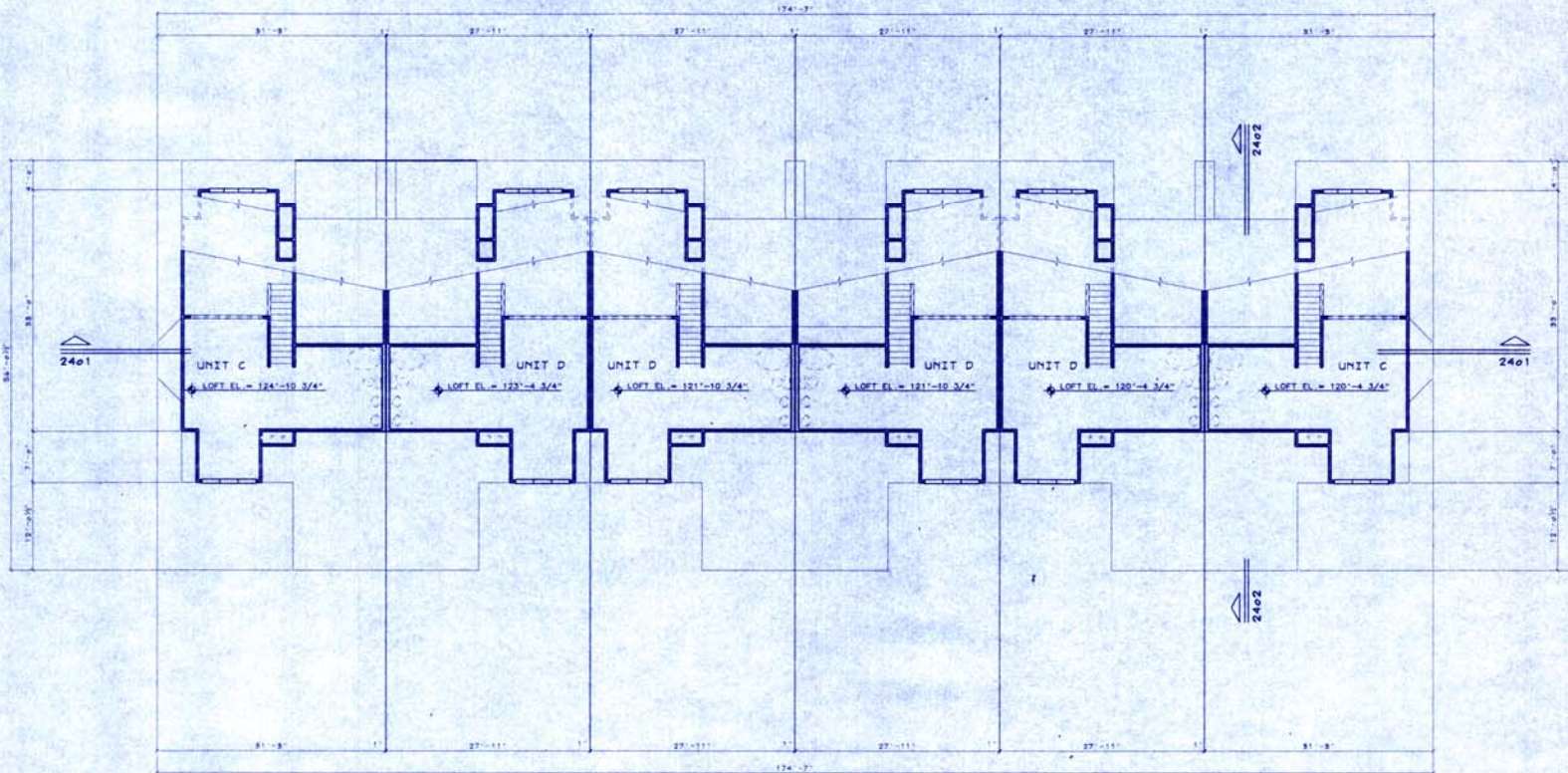
WALL LOCATION	BILL NAILING	TOE NAILING	SHEATHING MATERIAL	FIELD & EDGE NAILING
COMMON WALLS	1x6 COMMON NAILS # 12" O.C.	1x6 COMMON NAILS # 12" O.C.	5/8" TYPE X INT. GYP BOARD	6x6 COOLER NAILS # 4" O.C. SEE NOTE
EXTERIOR WALLS	1x6 COMMON NAILS # 12" O.C.	1x6 COMMON NAILS # 12" O.C.	5/8" TYPE X EXT. GYP SHEATHING	6x6 COOLER NAILS # 4" O.C. OR 1 1/2" 16 GA. STAPLES # 4" O.C.
INTERIOR WALLS	1x6 COMMON NAILS # 12" O.C.	1x6 COMMON NAILS # 12" O.C.	5/8" TYPE X INT. GYP BOARD	6x6 COOLER NAILS # 4" O.C.

ALL EDGES OF SHEAR WALL SHEATHING (EXT. OR INT.) SHALL BE BLOKED CONTINUOUSLY.
ALL EXTERIOR SHEAR WALLS TO HAVE 1/2" DIA. X 18" L. ANCHOR BOLTS # 3/4" O.C. TYP. ALL INTERIOR SHEAR WALLS TO HAVE 1/2" DIA. X 12" EXPANSION ANCHORS # 3/4" O.C. TYP. W/ 4" EMBEDMENT IN SLAB.



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

BUILDING ONE



BUILDING THREE - LOFT PLAN

97-048

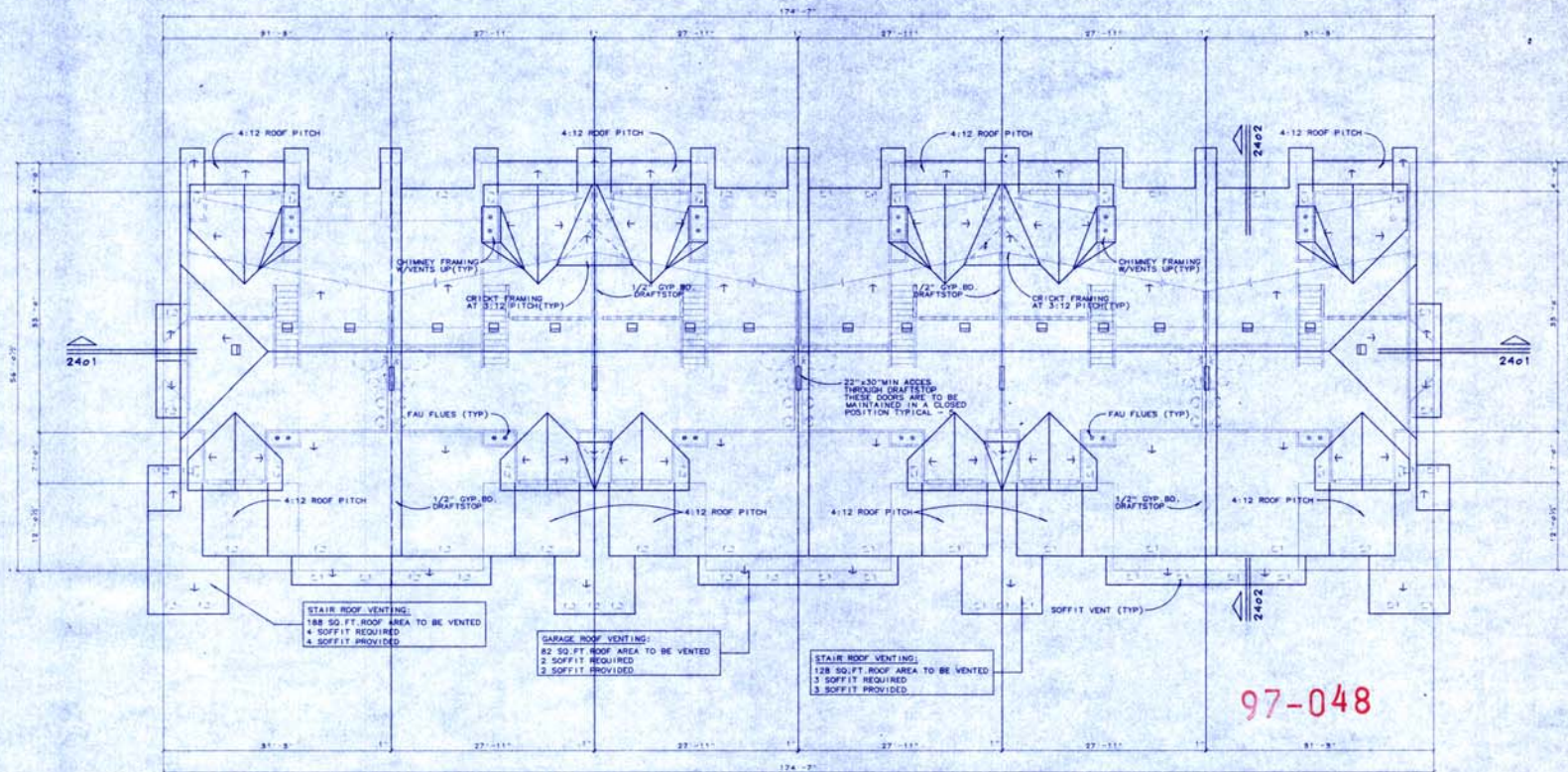
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THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOOP DEVELOPMENT

project no.	96122
date	5-28-97
drawn	
checked	
sheet	A-16



BUILDING THREE - ROOF PLAN

NOTES:
 1. ALL ROOF PITCHES TO BE 4:12 UNLESS NOTED OTHERWISE.
 2. SNOW GUARDS ARE TO BE INSTALLED AS PER TOWN OF FRISCO REQUIREMENTS 96-110.

PROVIDE ATTIC VENTILATION AS FOLLOWS:
 - 1/150 OF UNIT ROOF AREA (REQ'D VENT'D AREA)
 - THE AREA MAY BE 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED SIZE OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY EAVE OR CORNICE VENTS
 - AMPCOR RV-150 ROOF VENT (150 SQ. IN. VENTING)
 - AMPCOR UA-16-B SOFFIT VENT (56 SQ. IN. VENTING)

UNIT C - 1574 SQ. FT. ROOF AREA TO BE VENTED
 3 ROOF / 8 SOFFIT REQUIRED
 3 ROOF / 8 SOFFIT PROVIDED
 UNIT D - 1362 SQ. FT. ROOF AREA TO BE VENTED
 3 ROOF / 6 SOFFIT REQUIRED
 3 ROOF / 6 SOFFIT PROVIDED

STAIR ROOF VENTING:
 188 SQ. FT. ROOF AREA TO BE VENTED
 4 SOFFIT REQUIRED
 4 SOFFIT PROVIDED

GARAGE ROOF VENTING:
 80 SQ. FT. ROOF AREA TO BE VENTED
 2 SOFFIT REQUIRED
 2 SOFFIT PROVIDED

STAIR ROOF VENTING:
 128 SQ. FT. ROOF AREA TO BE VENTED
 3 SOFFIT REQUIRED
 3 SOFFIT PROVIDED

97-048

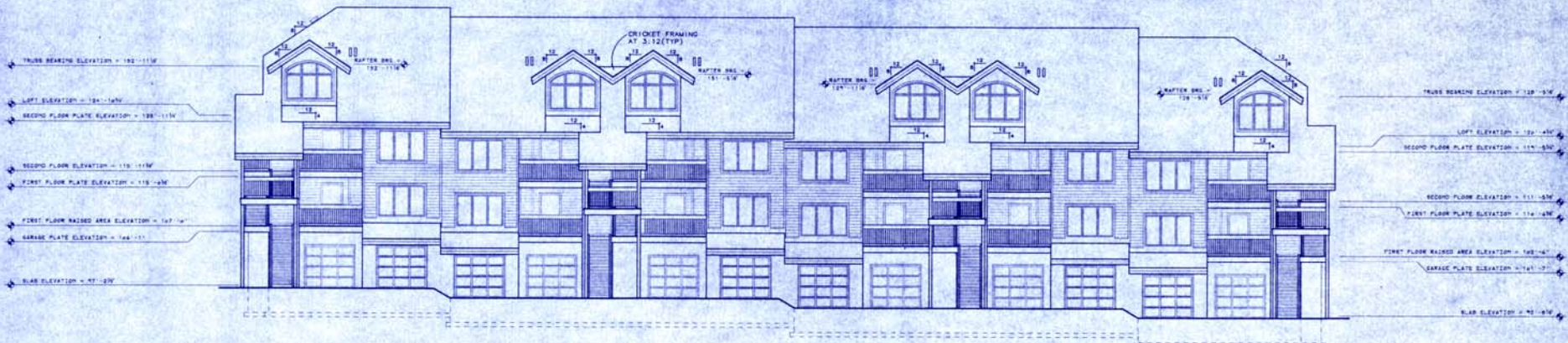
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no.	date	by
1	7-55-97	



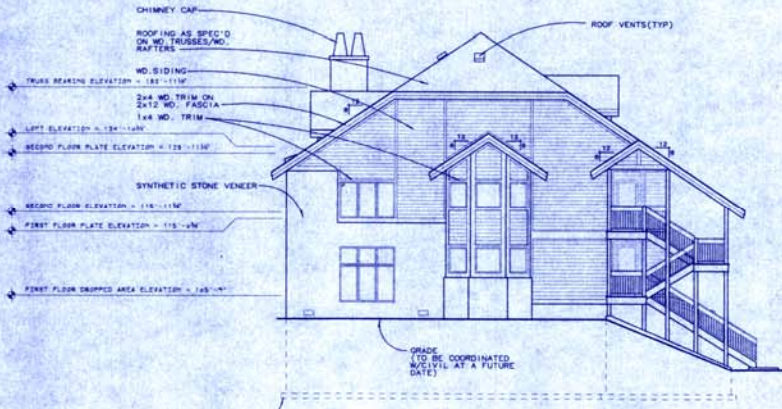
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 ARCHITECTS
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 DENVER, COLORADO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112

THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR
 LOUP DEVELOPMENT

PROJECT NO.
 96122
 DATE
 5-28-97
 DRAWN
 CHECKED
 SHEET
A-17



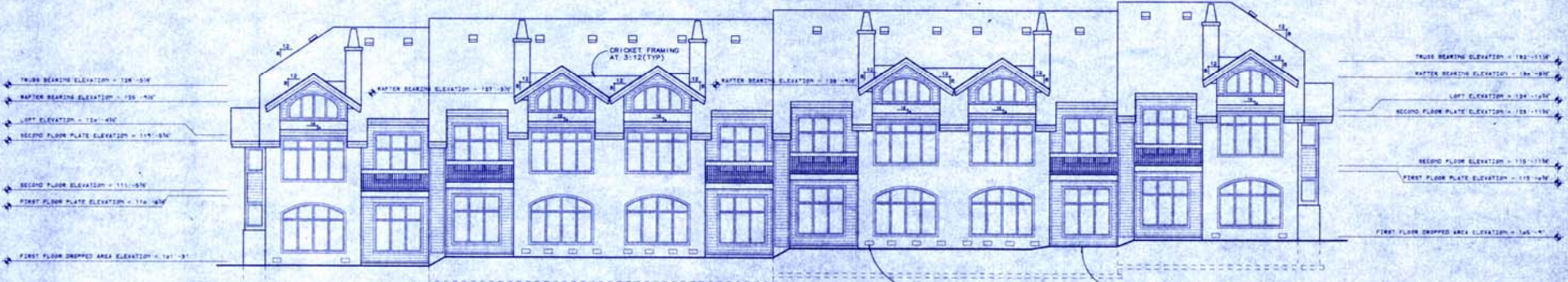
FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

- NOTES:
1. FOUNDATIONS SUPPORTING WOOD FRAMING ARE TO BE A MIN. OF 6" ABOVE THE ADJACENT GRADING ELEVATIONS.
 2. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY OR WITHIN 6" OF FINISHED GRADE IS REQUIRED TO BE TREATED WOOD OR REDWOOD.
 3. ALL BUILDING PADS ARE TO BE GRADED A MINIMUM OF 2% AWAY FROM BLDGS.

97-048

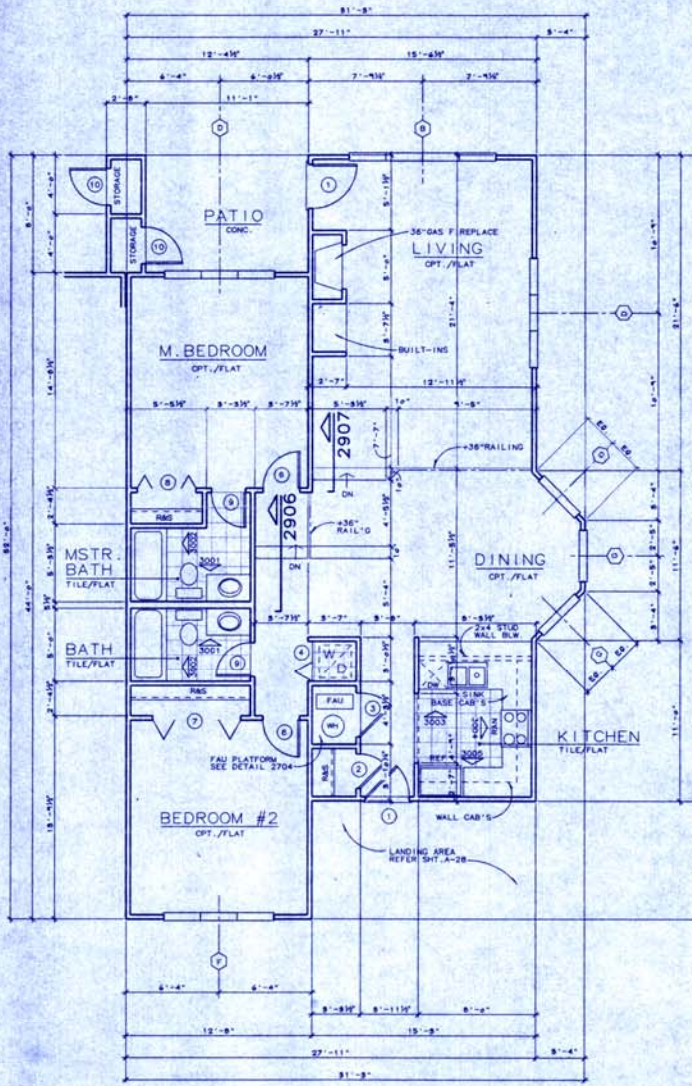
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1	7-25-97	



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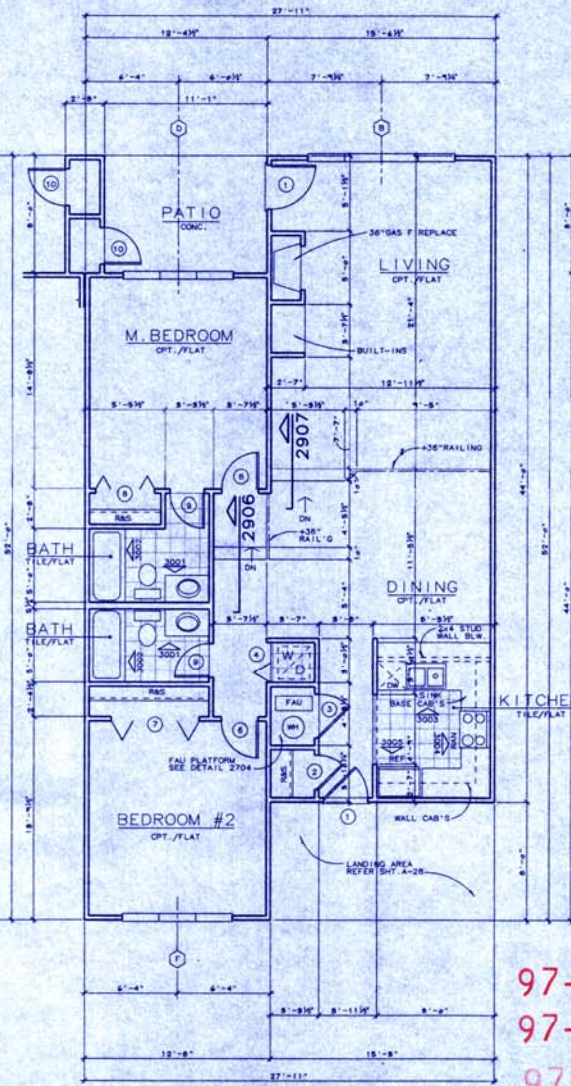
THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

project no.	96122
date	6/20/97
drawn	
checked	
sheet	A-18



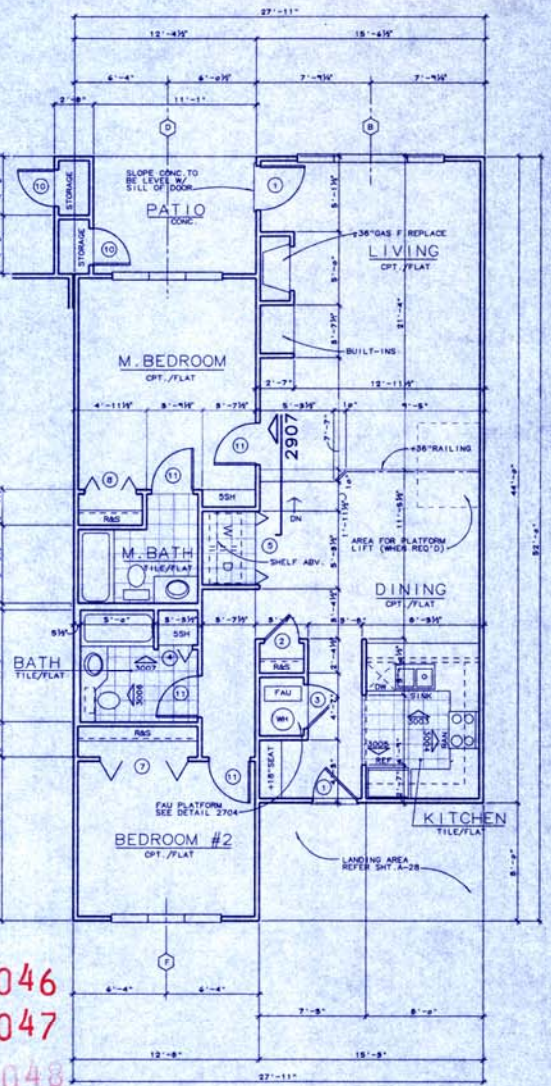
FLOOR PLAN - UNIT A

1258.54 SF (0/0 STUD)



FLOOR PLAN - UNIT B

1230.58 SF (0/0 STUD)



FLOOR PLAN - UNIT B1 (HANDICAP ACCESSIBLE)

1230.56 SF (0/0 STUD)

NOTE:
1. LOCATIONS OF DROPPED C.G. AREAS TO COORDINATE W/ MECHANICAL DRAWINGS

97-046
97-047
97-048

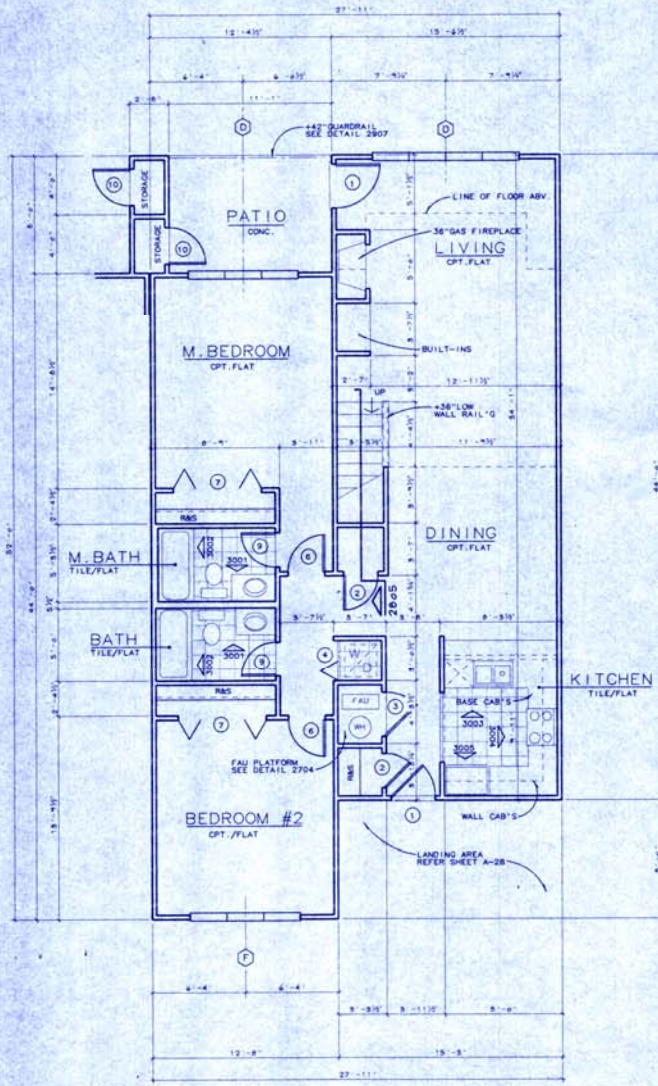
revision no.	date	by



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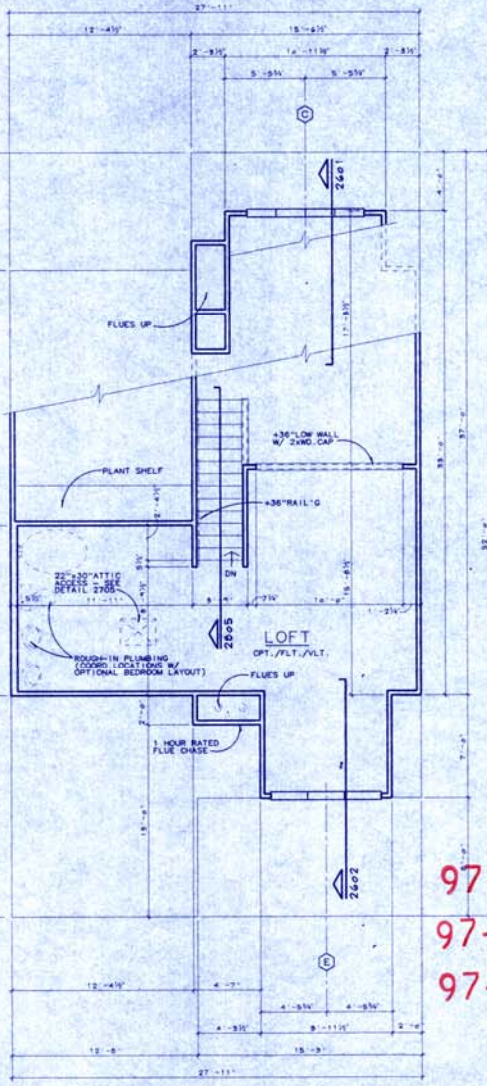
project no.
98122
date
5-28-97
drawn
checked
sheet
A-19



FLOOR PLAN - UNIT D

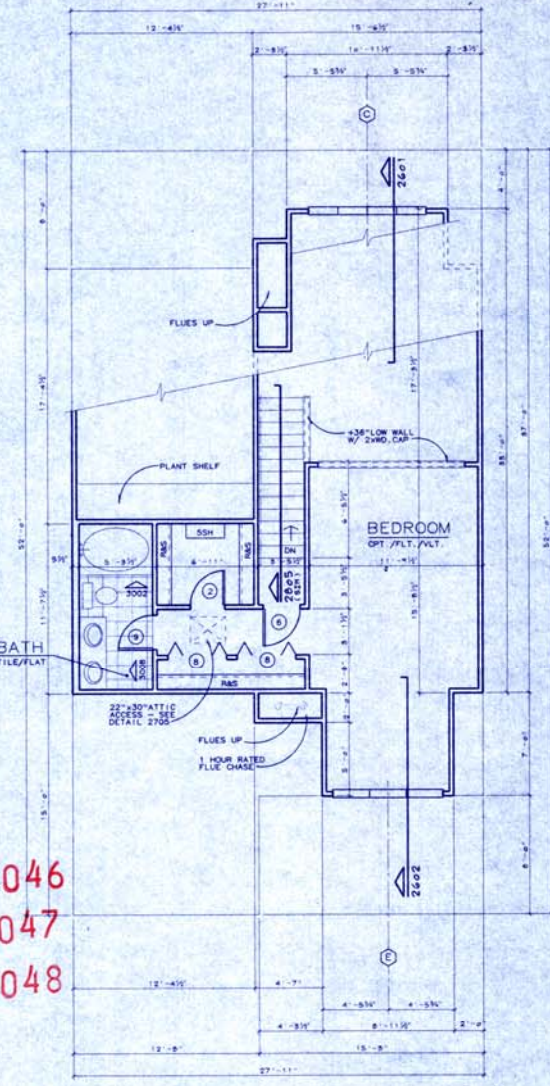
1230.56 SF (0/0 STUD)

NOTE:
1. LOCATIONS OF SHIPPED C.L.D. AREAS TO COORDINATED W/ MECHANICAL DRAWINGS



**SECOND FLOOR PLAN - UNIT D
(STANDARD PLAN W/ LOFT)**

432.64 SF (0/0 STUD)



**SECOND FLOOR PLAN - UNIT D
(STANDARD PLAN W/ OPT. BED.)**

432.64 SF (0/0 STUD)

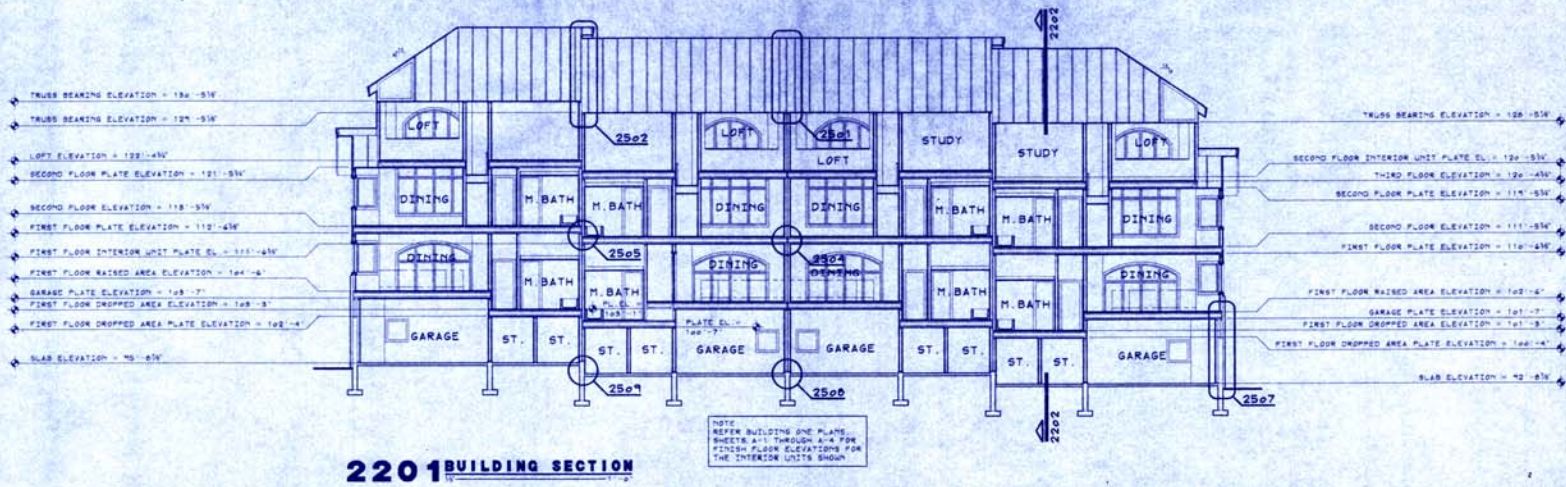
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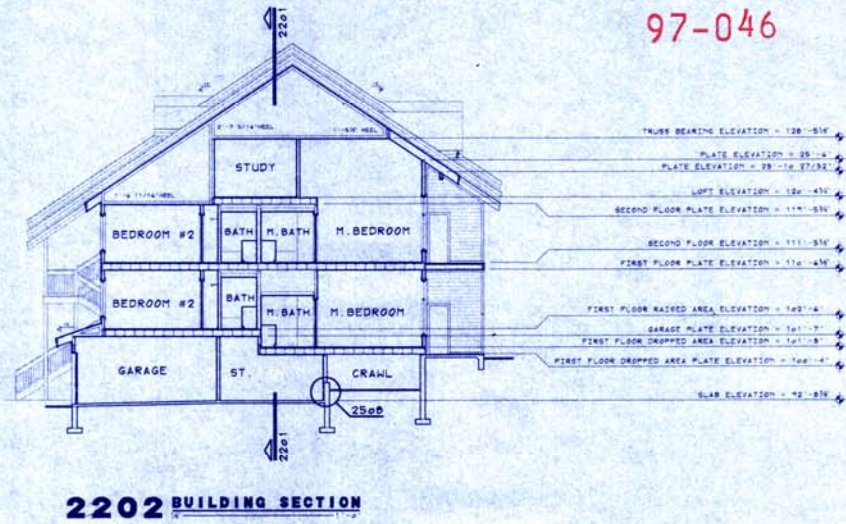
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FRISCO, CO 80401
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THE BAY CLUB AT FRISCO
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FOR
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project no. 96122
date 5.26.17
drawn
checked
sheet **A-21**



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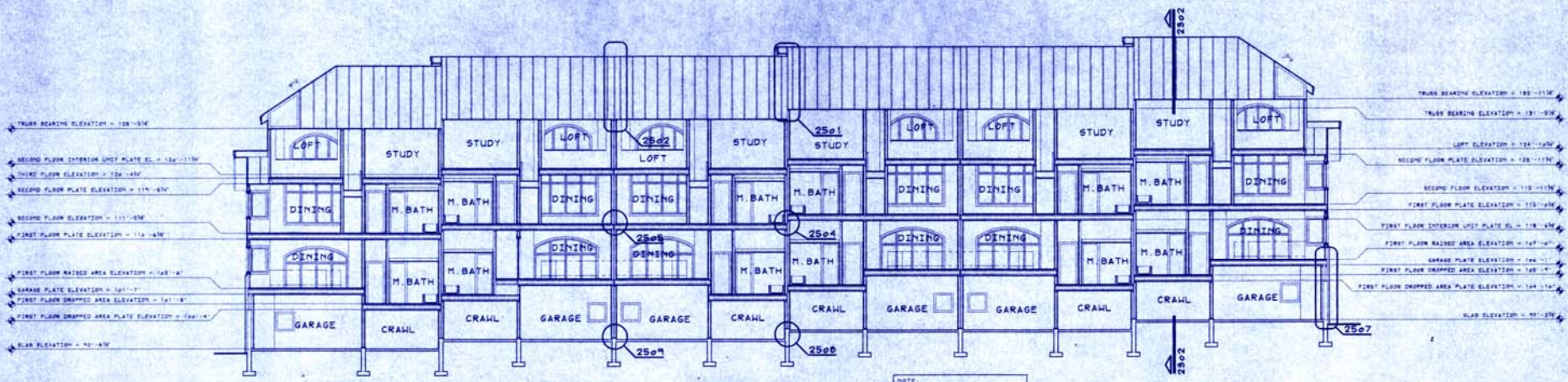
revision no.	date	by



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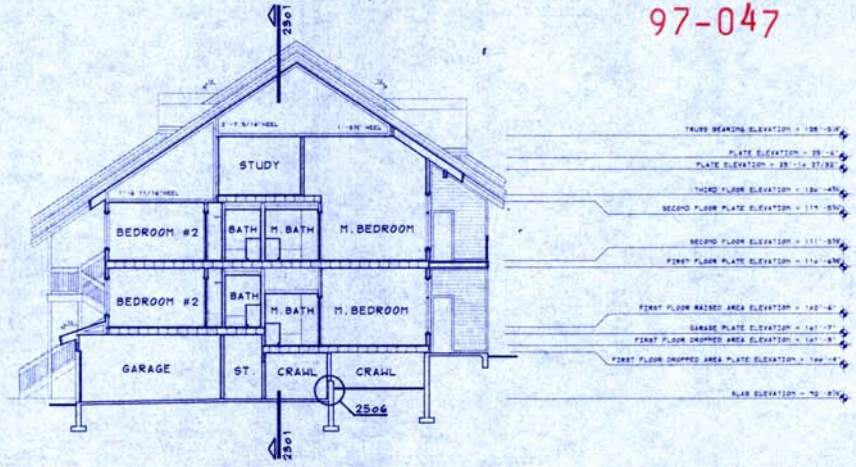
project no. 96122
 date 6-28-97
 drawn
 checked
 sheet **A-22**



2301 BUILDING SECTION

NOTE: REFER BUILDING TWO PLANS SHEETS A-2 THROUGH A-14 FOR FINISH FLOOR ELEVATIONS FOR THE INTERIOR UNITS SHOWN.

97-047



2302 BUILDING SECTION

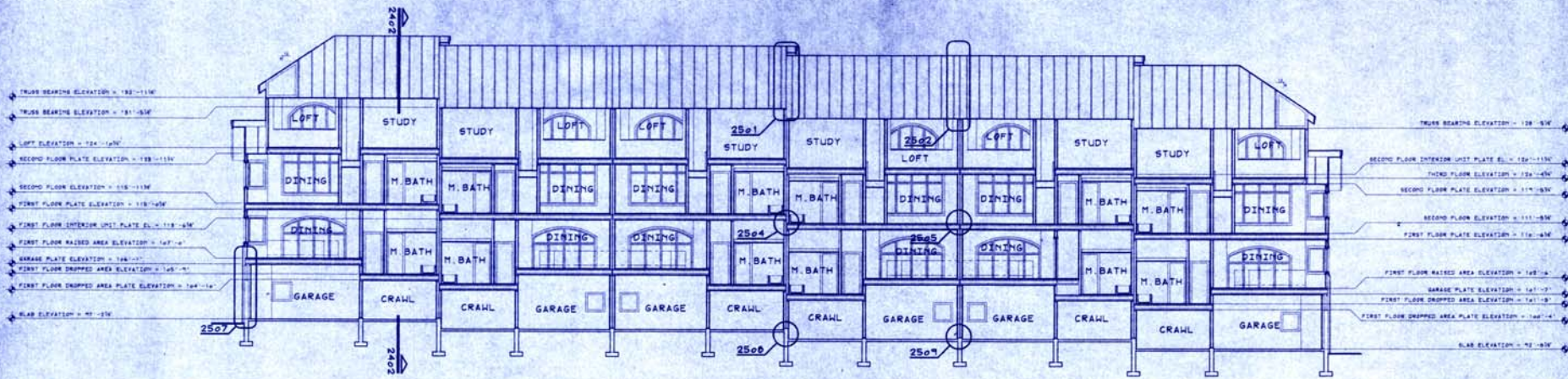
revision no.	date	by



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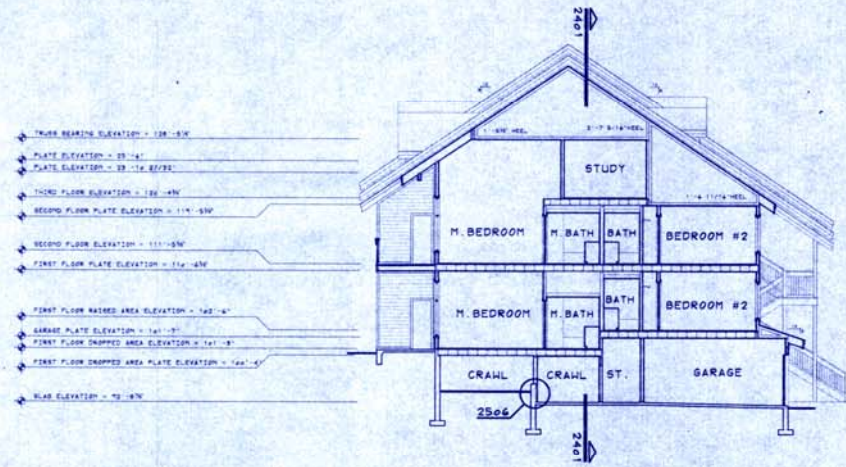
THE BAY CLUB AT FRISCO
 CONDOMINIUMS
 FRISCO, COLORADO
 FOR LOUP DEVELOPMENT

project no. 96122
 date 5-28-17
 drawn
 checked
 sheet
A-23



2401 BUILDING SECTION

NOTE:
REFER BUILDING THREE PLANS
SHEETS 2-19 THROUGH 2-18 FOR
FINISH FLOOR ELEVATIONS FOR
THE INTERIOR UNITS ROOMS



2402 BUILDING SECTION

97-048

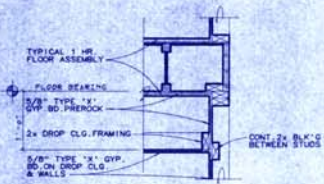
revision		
no.	date	by



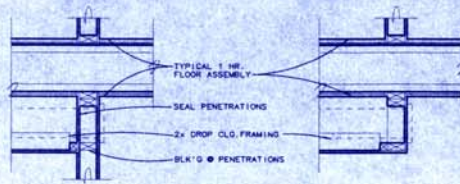
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www.wagnerarchitect.com
1000 North Lincoln Street, Suite 100
Denver, Colorado 80202

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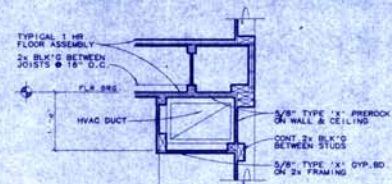
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date	5-28-97
drawn	
checked	
sheet	A-24



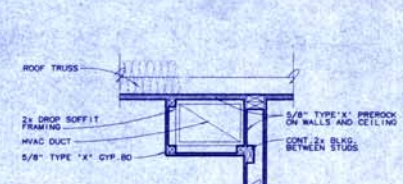
DROPPED CEILING @ DEMISING WALL



DROPPED CEILING @ INTERIOR WALL



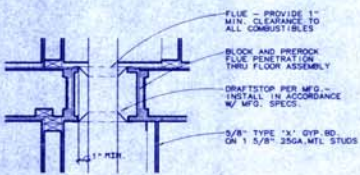
DROPPED SOFFIT @ DEMISING WALL



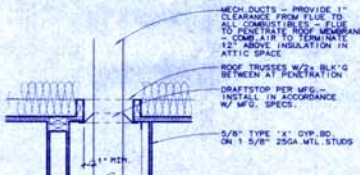
DROPPED SOFFIT ROOF TRUSSES

BID ALT. - PROVIDE 1 5/8" (MIN) 25GA. METAL STUD FRAMING @ 16" O.C. IN LIEU OF WOOD FRAMING AT ALL DROPPED CEILINGS AND SOFFITS.

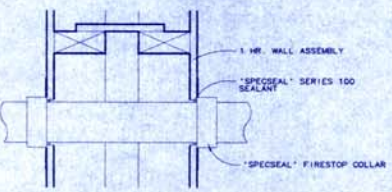
2701 PREROCK WALL AND CEILING DETAILS



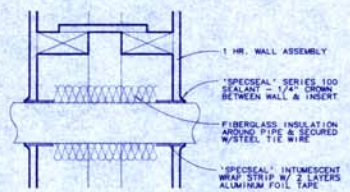
DRAFTSTOP AT FLOOR ASSEMBLY



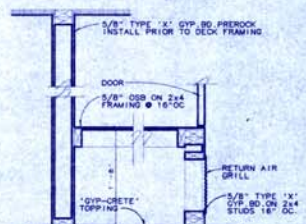
DRAFTSTOP AT ROOF TRUSSES



2703 1 HOUR THRU-WALL FIRE PENETRATION DETAILS
4" PLASTIC PIPE MAX.

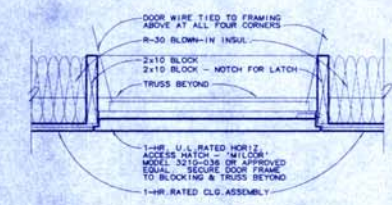


2704 FAU PLATFORM
2" PLASTIC PIPE MAX.

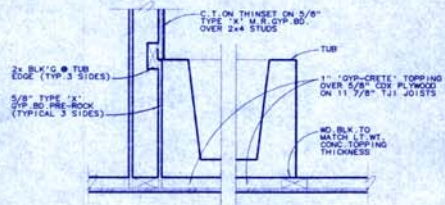


2704 FAU PLATFORM

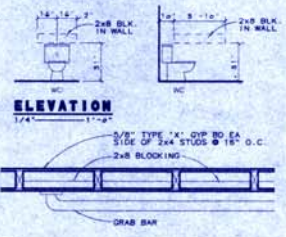
2702 MECHANICAL FLUE DETAILS



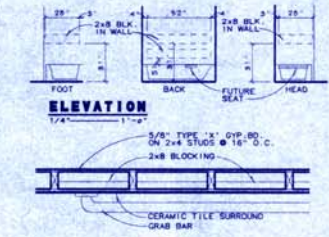
2705 ATTIC ACCESS



2706 TUB PRE-ROCK



2707 WALL REINF. AT WATER CLOSET



2708 WALL REINF. AT TUB/SHOWER

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97-047
97-048

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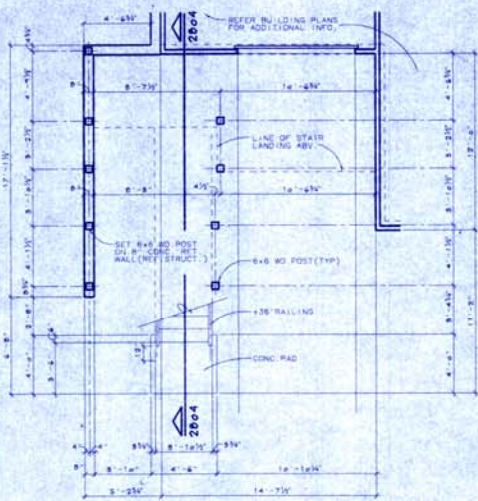


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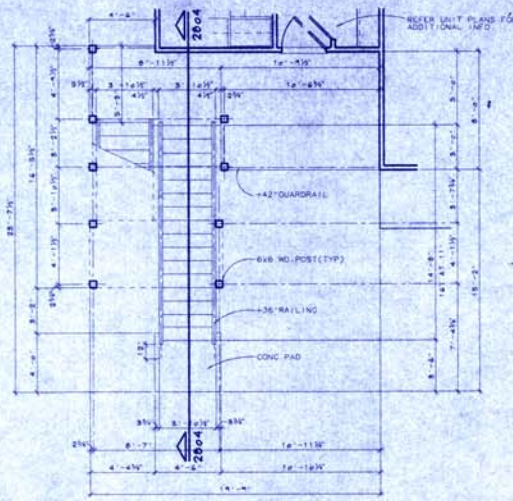
THE BAY CLUB AT FRISCO
CONDOMINIUMS
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FOR
LOUP DEVELOPMENT

INTERIOR & MISC. DETAILS

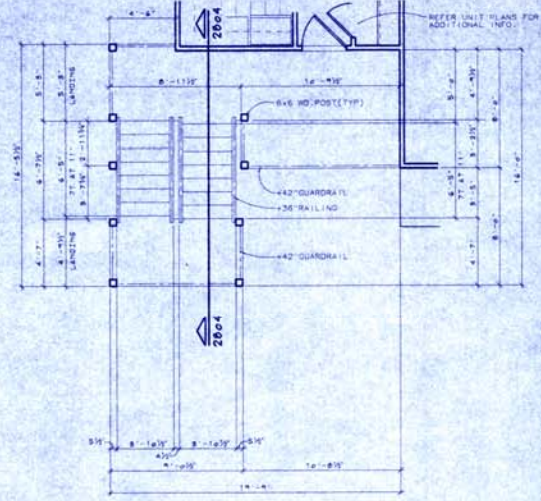
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date	6-28-97
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sheet	A-27



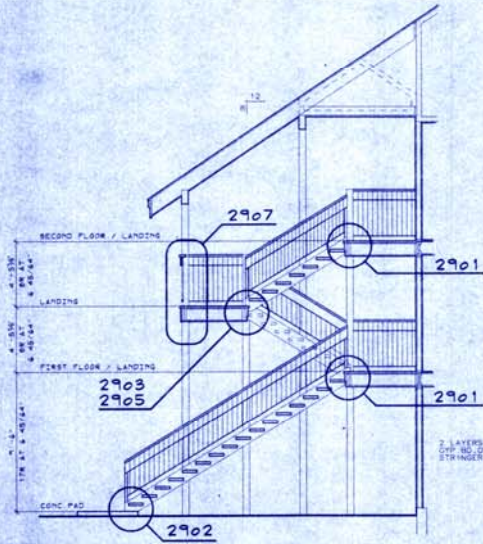
2801 STAIR PLAN



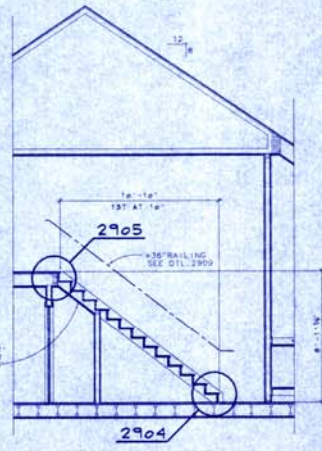
2802 STAIR PLAN



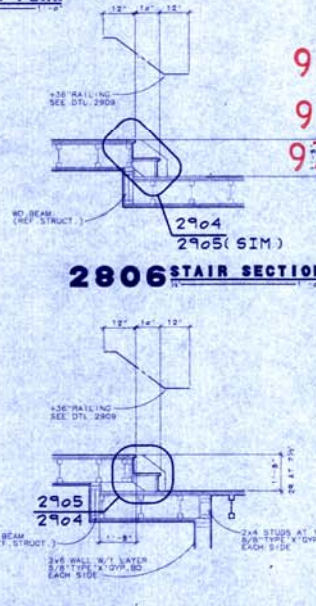
2803 STAIR PLAN



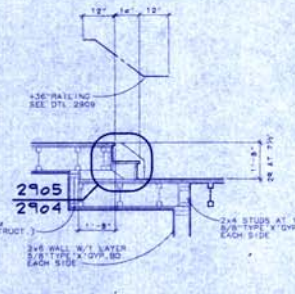
2804 STAIR SECTION



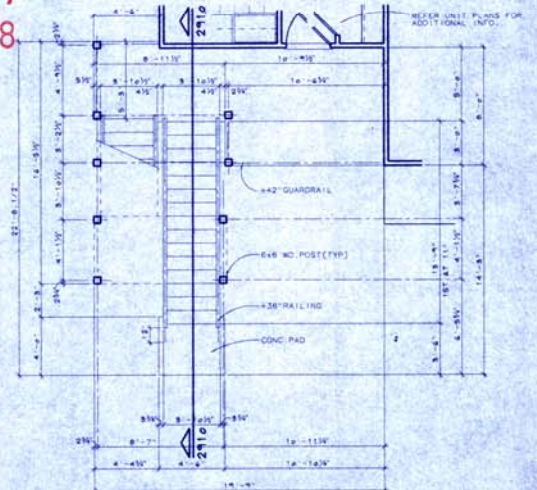
2805 STAIR SECTION



2806 STAIR SECTION



2807 STAIR SECTION



2808 STAIR PLAN

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97-048

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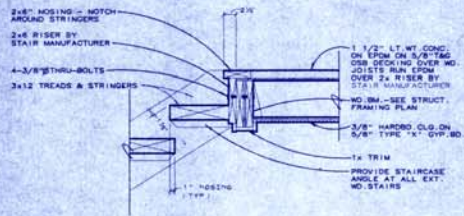


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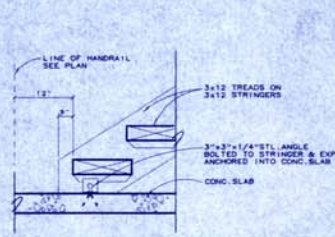
THE BAY CLUB AT FRISCO
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FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

project no.	98122
date	5-25-17
drawn	
checked	
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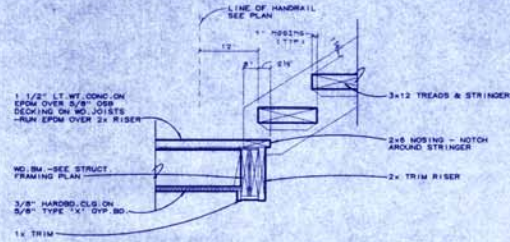
A-28



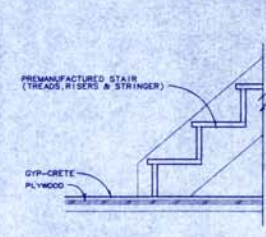
2901 HEAD OF STAIR



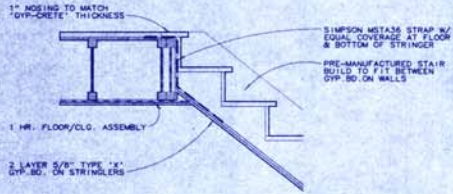
2902 FOOT OF STAIR



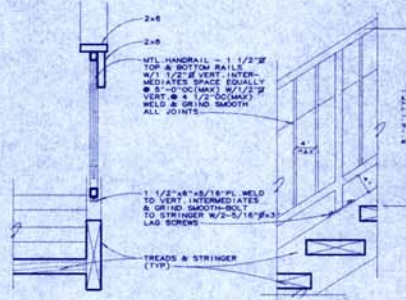
2903 FOOT OF STAIR



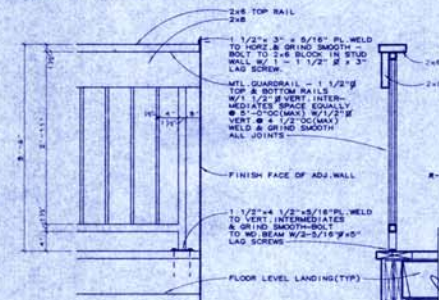
2904 FOOT OF STAIR



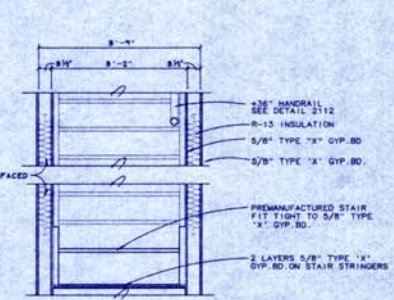
2905 HEAD OF STAIR



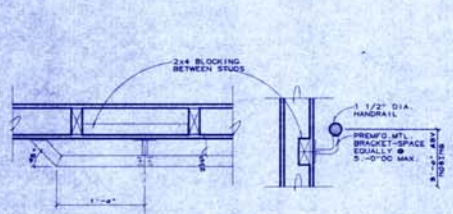
2906 STAIR HANDRAIL



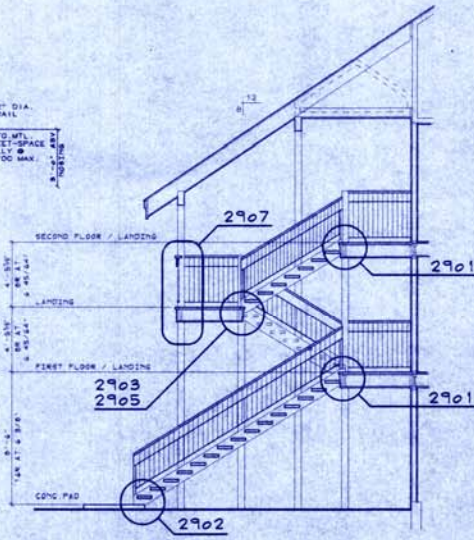
2907 GUARDRAIL AT FLOOR



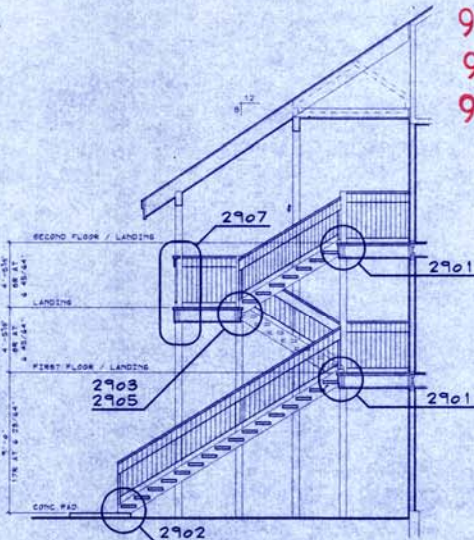
2908 CROSS SECTION



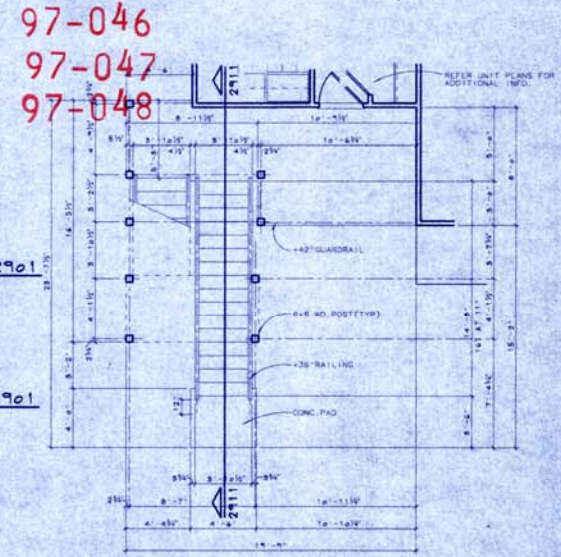
2909 WALL MOUNTED HANDRAIL



2910 STAIR SECTION



2911 STAIR SECTION



2912 STAIR PLAN

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97-047
97-048

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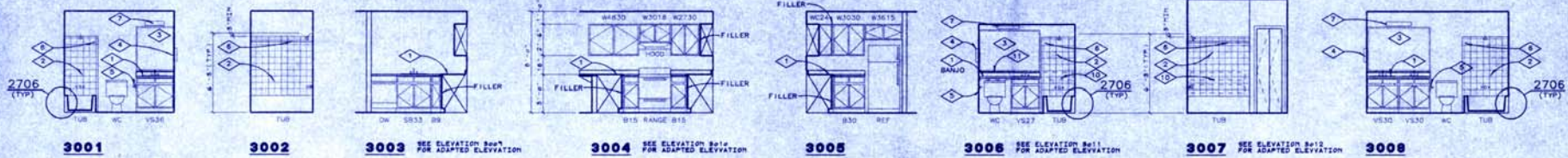


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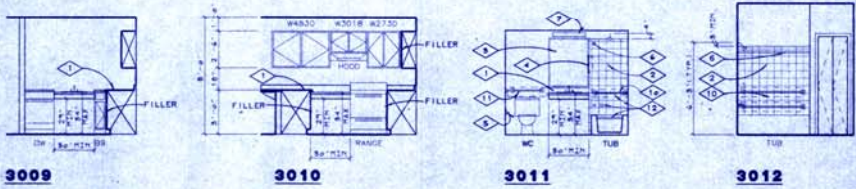
THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

STAIR DETAILS

project no.	98122
date	5-28-97
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checked	
sheet	A-29



INTERIOR ELEVATIONS - STANDARD UNITS



- ELEVATION FLAG NOTES** (THIS DRAWING ONLY)
- 1 PLASTIC LAMINATE COUNTER W/4" BACKSPLASH
 - 2 CERAMIC TILE W/RILLING EDGE TO 476" A.F.F. ON N.B. TYPE "A" GIP. BO
 - 3 3/16" PLATE MIRROR 42" TALL x COUNTER WIDTH
 - 4 MEDICINE CABINET - BOTTOM SHELF 51" AFF
 - 5 TOILET PAPER HOLDER @ +24" AFF
 - 6 SHOWER CURTAIN ROD AT +61"-2" AFF
 - 7 LIGHT FIXTURE (SEE ELECTRICAL)
 - 8 TOWEL BAR @ +42" AFF
 - 9 NOT USED
 - 10 SEE DETAIL 2708 FOR BATHTUB GRAB BAR BLOCKING
 - 11 SEE DETAIL 2707 FOR WATER CLOSET GRAB BAR BLOCKING
 - 12 RELOCATE CONTROLS, PROVIDE HAND HELD SHOWER SPRAYER, SEAT & GRAB BARS AS PER ANSI 4.32.4.4.
- NOTE: ALL DIM. ARE FROM FIN. FACE TO CENTERLINE OR TO FIN. FACE - THIS DRAWING ONLY.

INTERIOR ELEVATIONS - ADAPTABLE UNIT B1

THESE ELEVATIONS ARE PROVIDED AS A GUIDE OF THE REQUIREMENTS FOR THE DISABLED. THEY ARE NOT INTENDED TO ILLUSTRATE THE LIMITS OF NOR THE EXTENT OF MODIFICATIONS TO THESE UNITS FOR USE BY THE DISABLED.

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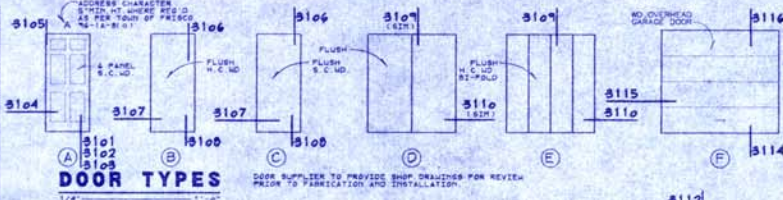
THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR
LOUP DEVELOPMENT

INTERIOR
ELEVATIONS

project no.	96122
date	6-25-97
drawn	
checked	
sheet	A-30

DOOR SCHEDULE

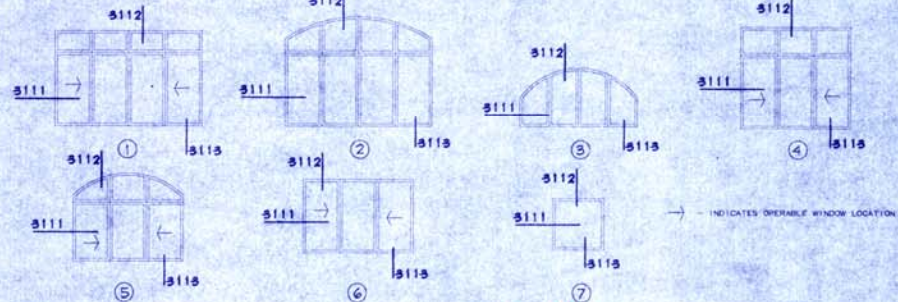
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1	A	3'-0" x 8'-0" x 1'-0"		UD.	SET #1	
2	B	3'-0" x 8'-0" x 1'-0"		UD.	SET #2	
3	C	3'-0" x 8'-0" x 1'-0"		UD.	SET #3	
4	D	3'-0" x 8'-0" x 1'-0"		UD.		HPR. HARDWARE
5	E	3'-0" x 8'-0" x 1'-0"		UD.		HPR. HARDWARE
6	B	2'-0" x 8'-0" x 1'-0"		UD.	SET #4	
7	E	3'-0" x 8'-0" x 1'-0"		UD.		HPR. HARDWARE
8	D	3'-0" x 8'-0" x 1'-0"		UD.		HPR. HARDWARE
9	A	3'-0" x 8'-0" x 1'-0"		UD.	SET #4	
10	B	3'-0" x 8'-0" x 1'-0"		UD.	SET #5	
11	B	2'-0" x 8'-0" x 1'-0"		UD.	SET #4	
12	F	8'-0" x 7'-0" x 1'-0"		UD.	SET #6	GARAGE DOOR
13	A	2'-0" x 3'-0" x 1'-0"		UD.		CRAWL SPACE ACCESS
14						
15						
16						
17						
18						
19						



WINDOW SCHEDULE

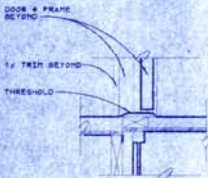
MK	TYPE	SIZE	REMARKS
1	1	10'-0" x 6'-0"	
2	2	10'-0" x 7'-0"	
3	3	8'-0" x 4'-0"	
4	4	7'-0" x 7'-0"	
5	5	7'-0" x 6'-0"	
6	6	7'-0" x 8'-0"	
7	7	3'-0" x 8'-0"	

NOTE:
ALL DOOR AND WINDOW ROUGH OPENINGS TO BE COORDINATED WITH MANUFACTURER'S SHOP DIMS.

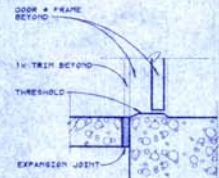


HARDWARE

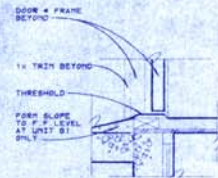
SET 1	SET 3	SET 5
1/2 PR BUTTS	1/2 PR BUTTS	1/2 PR BUTTS
LOCKSET	DEADBOLT	LOCKSET
LEVER HANDED AT UNIT B1	SPOKE GASKET	DEADBOLT
THRESHOLD		THRESHOLD
SILL SUEP	LATCHSET	LEVER HANDED AT UNIT B1
LEATHER STRIP		
DEADBOLT		
SET 2	SET 4	SET 6
1/2 PR BUTTS	1/2 PR BUTTS	O.H. BAR OR TRACKS
LATCHSET	LOCKSET	HANDLE W/ LOCKING DEVICE
LEVER HANDED LATCHSET AT UNIT B1 (SILL)		



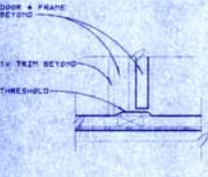
3101 SILL



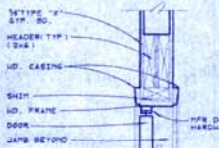
3102 SILL



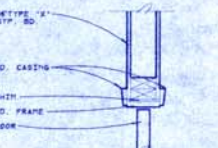
3103 SILL



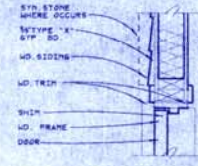
3108 SILL



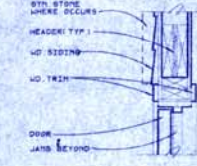
3109 HEAD



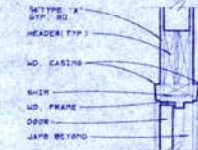
3110 JAMB



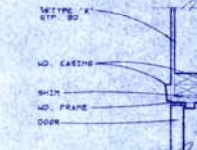
3104 JAMB



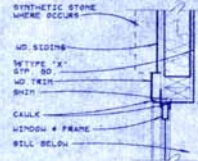
3105 HEAD



3106 HEAD



3107 JAMB



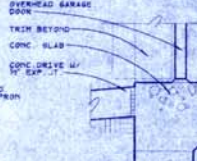
3111 JAMB



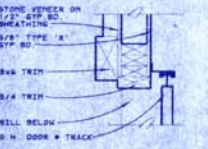
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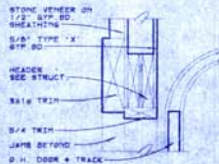
3113 SILL



3114 SILL



3115 JAMB



3116 HEAD

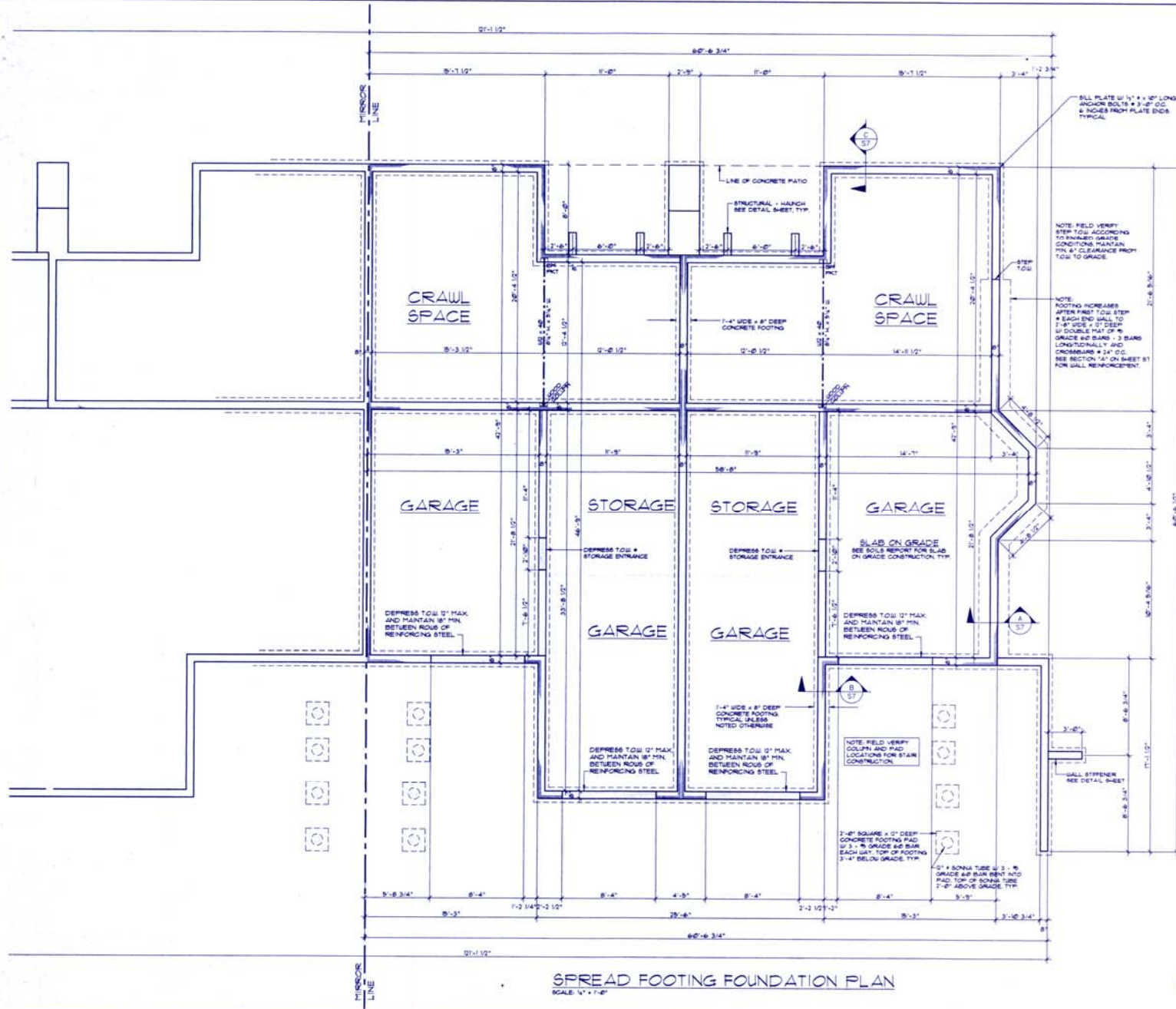
revision	no.	date	by
1	1	1-25-47	



WAGNER ARCHITECTURAL TEAM, LTD.
10000 E. HIGHWAY 103, SUITE 100
DENVER, COLORADO 80231

THE BAY CLUB AT FRISCO
CONDOMINIUMS
FRISCO, COLORADO
FOR LOUP DEVELOPMENT

project no.	98122
date	9-12-17
drawn	
checked	
sheet	A-31



97-046

SPREAD FOOTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

BUILDING ONE



MARTIN
design inc.
1408 So. Cherokee Dr. Denver, CO 80209
(303) 744-7839 FAX (303) 744-8800

SPREAD FOOTING FOUNDATION PLAN
THE BAY CLUB AT FRISCO
LOTS 3 & 4, RAINTREE II
FRISCO, COLORADO
WAGNER ARCHITECTURAL TEAM

PROJECT: 97-046

DATE: 8-18-05

DRAWN BY: JLS

CHECKED BY: HSH

PROJ. NO: 97-046

REVISION: BY DATE

SHEET NUMBER
S1



MARTIN
 design inc.
 James B. Martin, P.E.
 10000
 (303) 755-7777 (FAX) (303) 755-7777

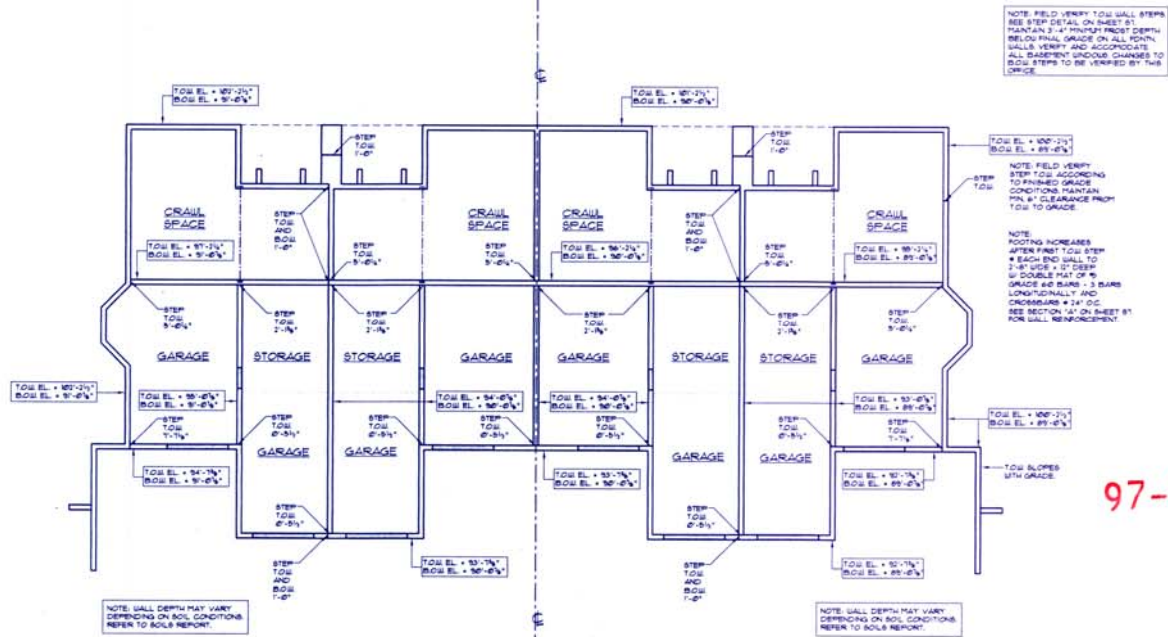
WALL ELEVATION FOUNDATION PLAN
 THE BAY CLUB AT FRISCO
 LOTS 3 & 4, RAINTREE II
 FRISCO, COLORADO
 WAGNER ARCHITECTURAL TEAM

PREPARED FOR:

SEE SHEET DESIGN FOR FOUNDATION AND WALL DETAILS IN THE ORIGINAL PROJECT FOR THIS SHEET. THIS SHEET IS A REFERENCE TO THE ORIGINAL PROJECT. ALL INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY. THIS SHEET IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS SHEET IS ADVISED THAT THE DESIGNER HAS NOT CONDUCTED A VISUAL CHECK OF THE SHEET FOR CONSTRUCTION. THE USER OF THIS SHEET IS ADVISED THAT THE DESIGNER HAS NOT CONDUCTED A VISUAL CHECK OF THE SHEET FOR CONSTRUCTION.

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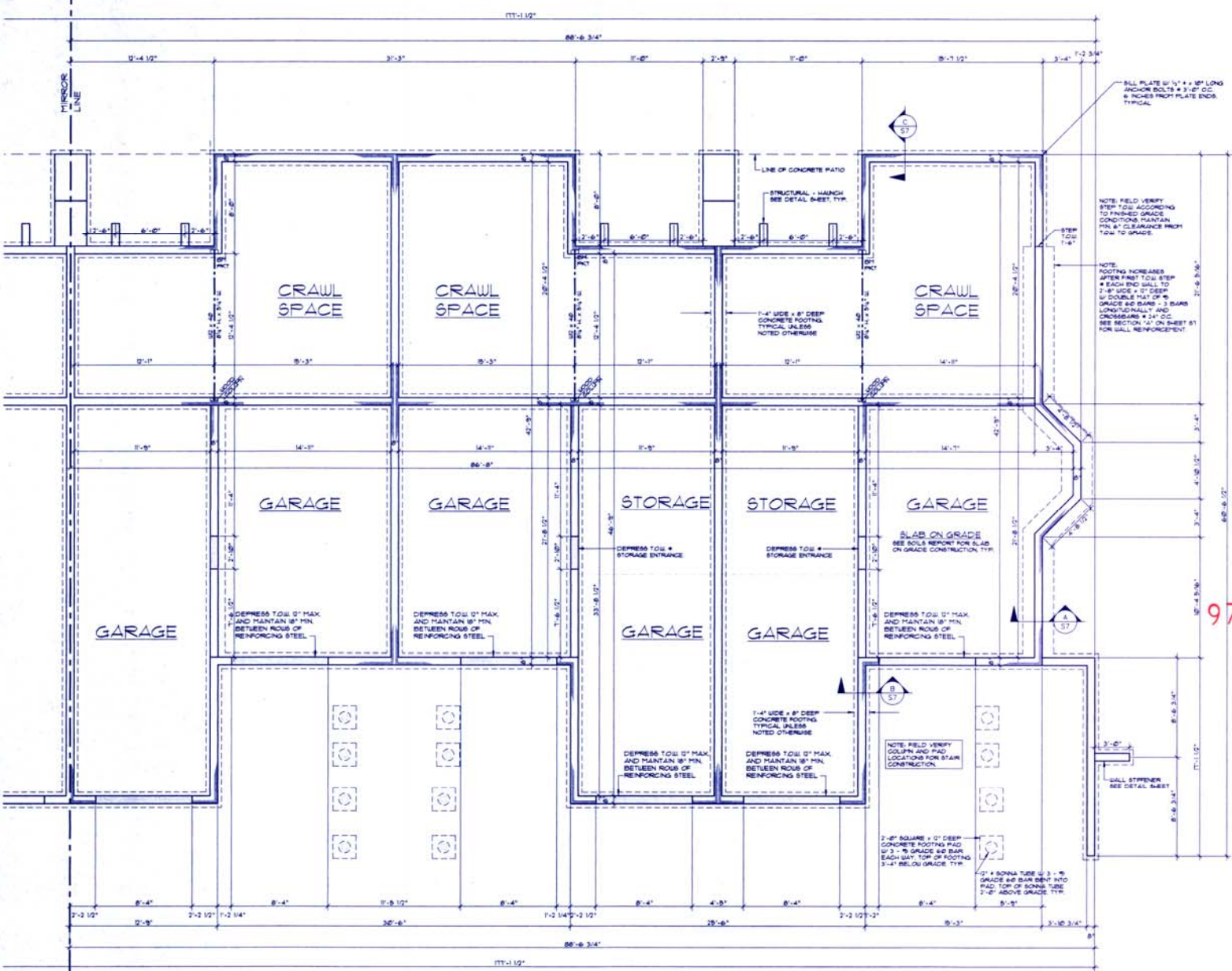
SHEET NUMBER
 22



97-046

WALL ELEVATION FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

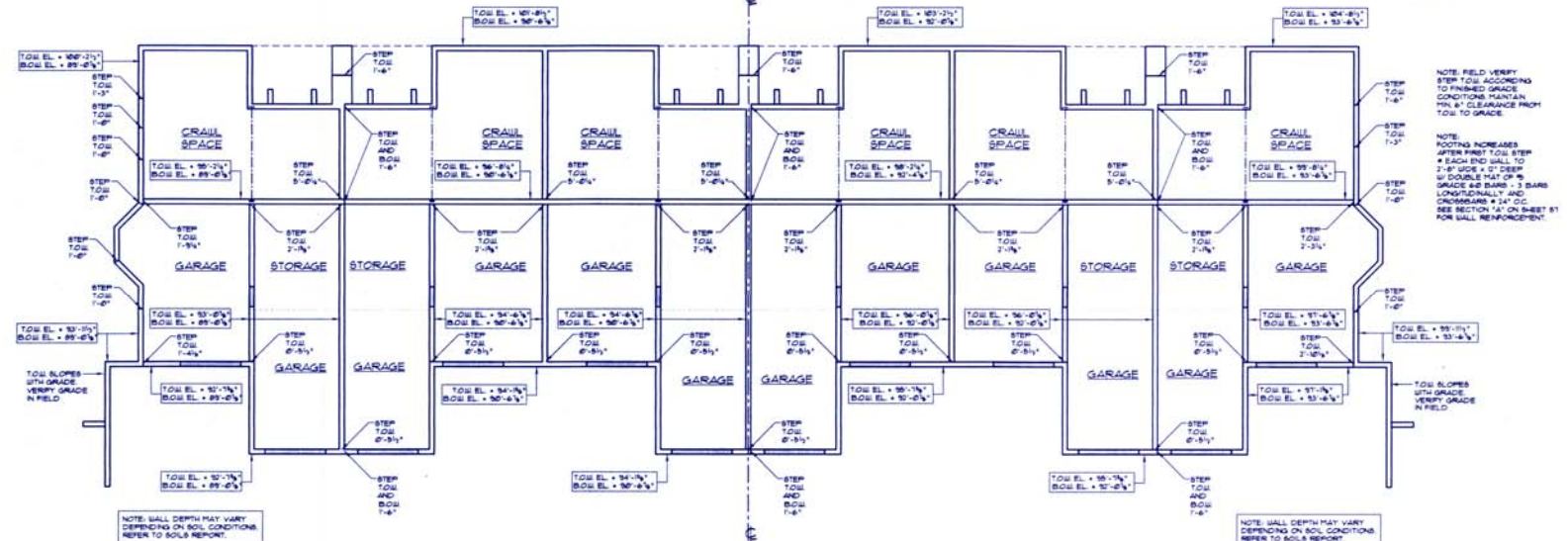
BUILDING ONE



SPREAD FOOTING FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

BUILDING TWO

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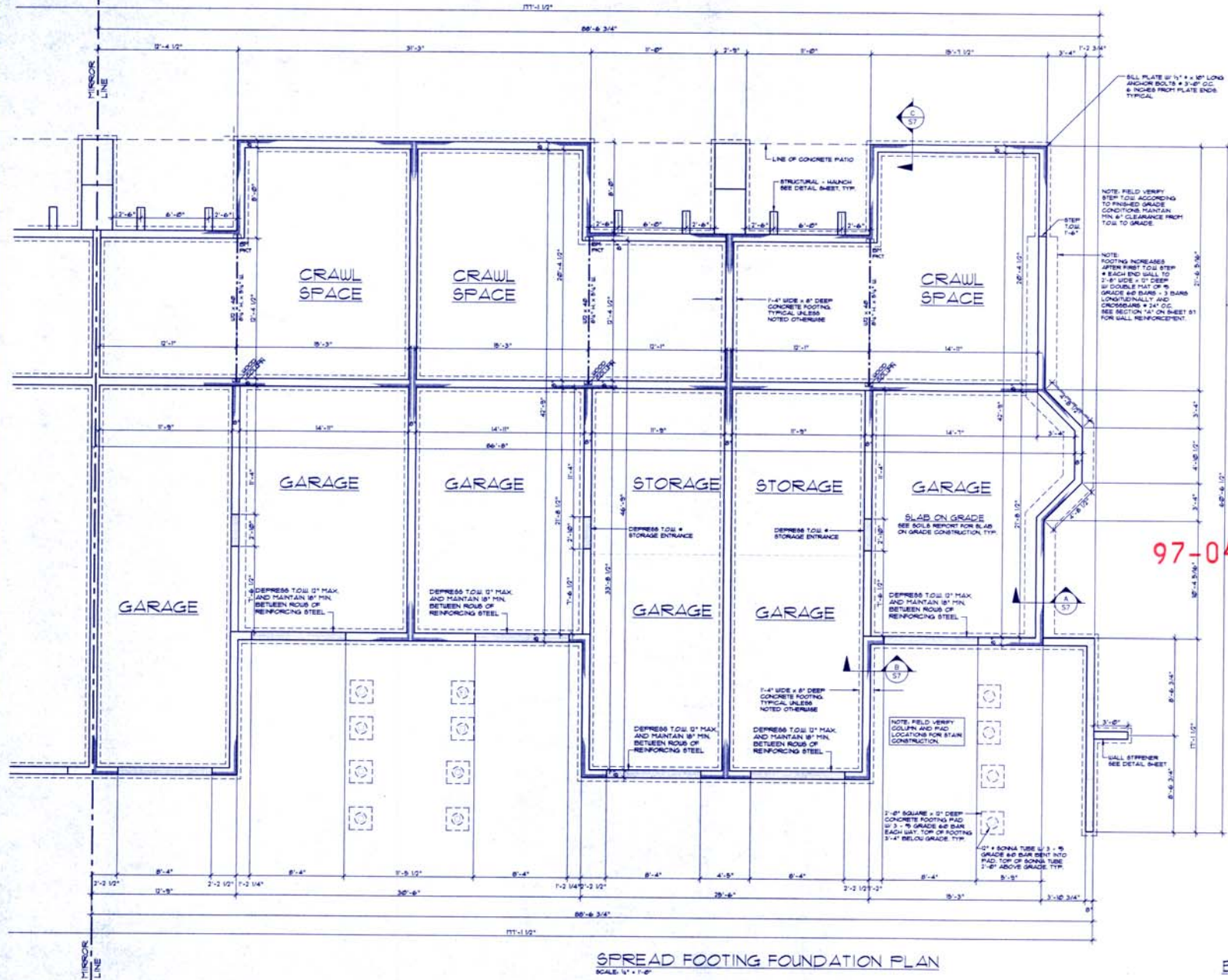
WALL ELEVATION FOUNDATION PLAN BUILDING TWO
SCALE: 1/4" = 1'-0"
NOTE: B.O.W. = TOP OF FOOTING

97-047

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CHECKED BY:	HEP
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REVISION:	BY/DATE
SHEET NUMBER	S4

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97-048

SPREAD FOOTING FOUNDATION PLAN
SCALE: 1" = 1'-0"

BUILDING THREE



MARTIN
Architects Inc.
JAMES W. MARTIN, P.E.
JAMES W. MARTIN, P.E.
JAMES W. MARTIN, P.E.



SPREAD FOOTING FOUNDATION PLAN
THE BAY CLUB AT FRISCO
LOTS 3 & 4, RAINTREE II
FRISCO, COLORADO
WAGNER ARCHITECTURAL TEAM

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11100 10th Street, Suite 200
Frisco, CO 80426
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REVISION:	BY/DATE

SHEET NUMBER

S5

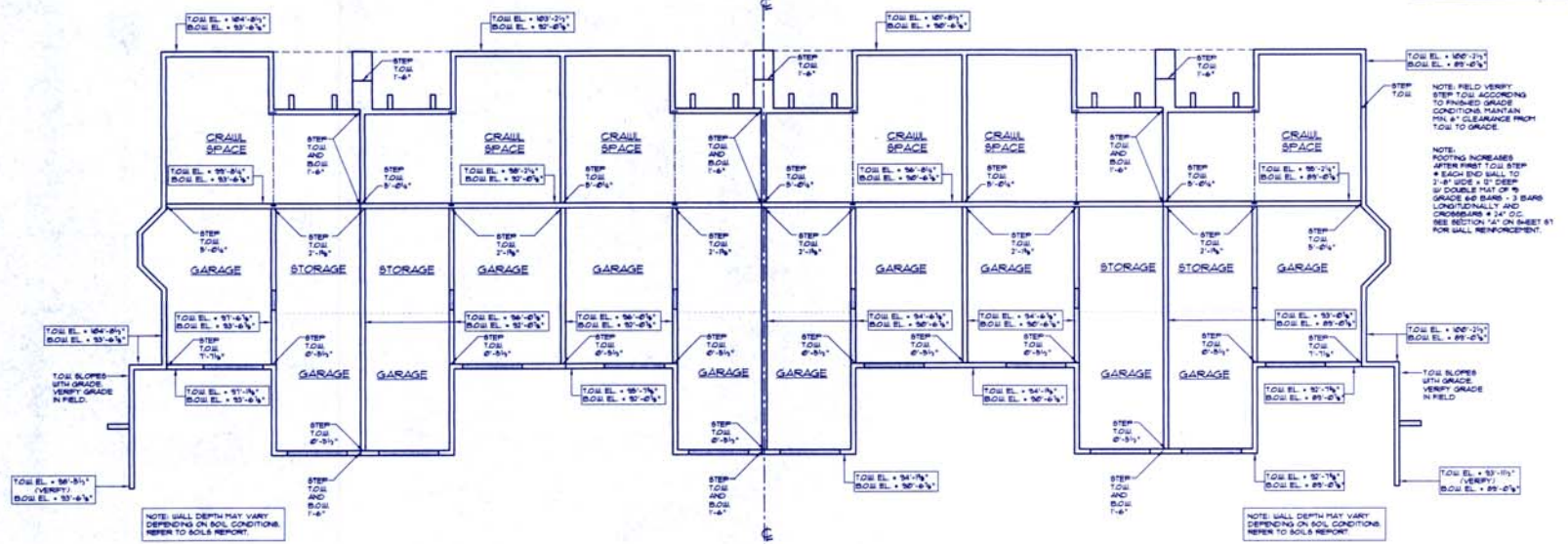


WALL ELEVATION FOUNDATION PLAN
 THE BAY CLUB AT FRISCO
 LOTS 3 & 4, RAINBOW II
 FRISCO, COLORADO
 WAGNER ARCHITECTURAL TEAM

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SHEET NUMBER
S6



NOTE: FIELD VERIFY TOE WALL STEPS. SEE STEP DETAIL ON SHEET S1. MAINTAIN 3'-4\"

NOTE: FIELD VERIFY STEP TOE ACCORDING TO FINISHED GRADE CONDITIONS. MAINTAIN MIN. 4\"

NOTE: FOOTING INCREASES AFTER FIRST TOE STEP. EACH END WALL TO 3'-8\"

NOTE: WALL DEPTH MAY VARY DEPENDING ON SOIL CONDITIONS. REFER TO SOILS REPORT.

NOTE: WALL DEPTH MAY VARY DEPENDING ON SOIL CONDITIONS. REFER TO SOILS REPORT.

WALL ELEVATION FOUNDATION PLAN BUILDING THREE
 SCALE: 1/4" = 1'-0"
 NOTE: B.O.U. = TOP OF FOOTING

97-048

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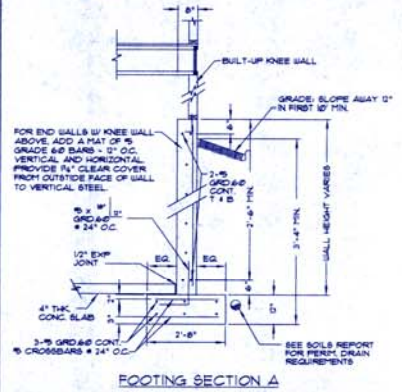
MARTIN
design inc.
1800 N. Oakview St. Suite 100, Bldg 200
FRISCO, TEXAS 75041 (972) 794-9400

SECTIONS, DETAILS @ STRUCTURAL NOTES
THE BAY CLUB AT FRISCO
LOTS 3 & 4, RAINTREE II
FRISCO, COLORADO
WAGNER ARCHITECTURAL TEAM

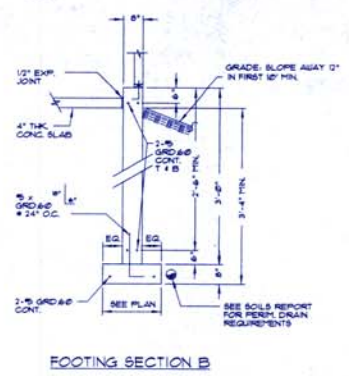
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PROJECT NO: 170026
REVISION: BY/DATE
SHEET NUMBER: S7

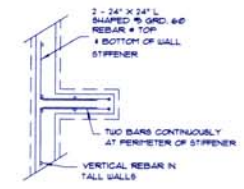
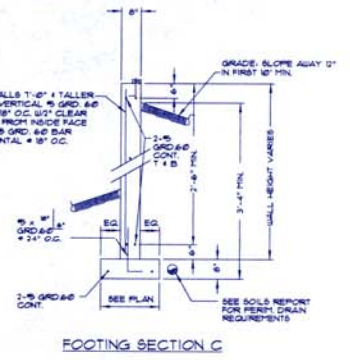
SILL PLATE W/ 1/2" DIA X 10' L ANCHOR BOLTS # 3"-Ø" OC IN ALL WALLS



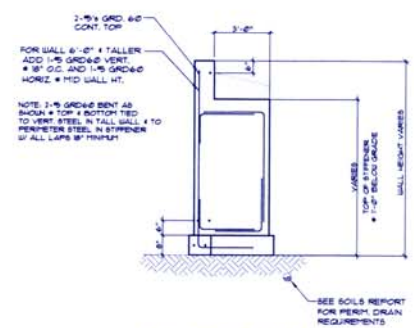
SILL PLATE W/ 1/2" DIA X 10' L ANCHOR BOLTS # 3"-Ø" OC IN ALL WALLS



SILL PLATE W/ 1/2" DIA X 10' L ANCHOR BOLTS # 3"-Ø" OC IN ALL WALLS



WALL STIFFENER PLAN

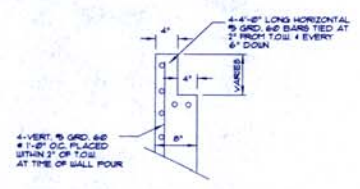


WALL STIFFENER DETAIL

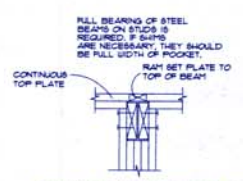
STRUCTURAL NOTES: (UNLESS OTHERWISE NOTED)

- 1.0 SCOPE: THIS SPECIFICATION OUTLINES THE STRUCTURAL DESIGN SPECIFICATIONS FOR WAGNER ARCHITECTURAL TEAM WHEN A DIFFERENCE EXISTS BETWEEN THIS SPECIFICATION AND ANY OTHER GOVERNING CODE. THE MORE STRINGENT SHALL CONTROL. ANY OTHER ITEMS NOT COVERED THEREIN SHALL BE CONSPICUOUSLY WITH GOOD ENGINEERING PRACTICE.
- 2.0 APPLICABLE CODES AND STANDARDS:
 - 2.1 UNIFORM BUILDING CODE - 1994 EDITION AS AMENDED BY THE TOWN OF FRISCO BUILDING DEPARTMENT.
 - 2.2 AISC "MANUAL OF STEEL CONSTRUCTION" - 9th EDITION
 - 2.3 ACI 318-89 "BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE"
 - 2.4 "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", BY NATIONAL FOREST PRODUCTS ASSOCIATION REVISED 1995 EDITION.
- 3.0 DESIGN LOADS:
 - 3.1 DEAD LOAD + WEIGHT OF STRUCTURE AND ALL THINGS PERMANENTLY ATTACHED.
 - 3.2 LIVE LOADS: 80 PSF. SNOW LOAD + 80 PSF. FLOOR LOAD + 40 PSF. WIND LOAD + 60 MPH EXPOSURE C. EXTERIOR DECKS AND STAIRS + 60 PSF. (SEismic + ZONE II)
- 4.0 FOUNDATION: THIS FOUNDATION MUST BE IN COMPLIANCE WITH THE SOILS REPORT BY KOSGELIN CONSULTING ENGINEERS, PROJECT #M-283 DATED OCTOBER 28, 1996. FOR COMPLETE FOUNDATION AND DRAINAGE REQUIREMENTS, SEE THIS REPORT. VERIFY SOILS CONDITIONS W/ GEOTECHNICAL ENGINEER OF RECORD @ TIME OF EXCAVATION.
 - 4.1 CONVENTIONAL SPREAD FOOTING
 - 4.1.1 FOOTINGS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 3000 PSF.
 - 4.1.2 FOOTINGS SHOULD BE REINFORCED FOR THEIR FULL LENGTH W/ 2 - #5 BARS, GRADE #60 MINIMUM - UNLESS NOTED OTHERWISE.
 - 4.1.3 THE BOTTOM OF FOOTINGS SHOULD BE A MINIMUM OF 40" BELOW FINAL GRADE FOR Frost Protection.
- 5.0 MATERIALS:
 - 5.1 GROUT:
 - 5.1.1 GROUT TO BE LOU SHANK, HIGH STRENGTH DRY PACK, MINIMUM STRENGTH 3000 PSI.
 - 5.2 CONCRETE:
 - 5.2.1 ALL CONCRETE TO DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
 - 5.2.2 MAKE ALL BARS CONTINUOUS AROUND CORNERS AND ACROSS STEP-DOWNS.
 - 5.2.3 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE #60. LAP BARS A MINIMUM OF 18" AT ALL SPLICES.
 - 5.3 STEEL:
 - 5.3.1 ALL STEEL BEARS TO BE CARBON A36 STEEL. FY MINIMUM YIELD STRESS- 36 KSI. Fu TENSILE STRESS 58-80 KSI.
- 6.0 THE BUILDER AND FUTURE OWNER SHOULD BE MADE AWARE OF THE CHANGE OF MOVEMENT AND CRACKING OF CONCRETE SLABS PLACED DIRECTLY ON COMPACTED SOIL.
 - 6.1 ISOLATE ALL DOOR JAMBS FROM FLOOR SLAB A MINIMUM OF 1/2" HORIZ. TO ALLOW FOR POSSIBLE MOVEMENT. USE SILICONE OR EPILAN MATERIAL TO FILL THE RESULTANT GAP.
 - 6.2 THE CONTRACTOR AND ARCHITECT SHOULD VERIFY ALL DIMENSIONS ON THIS PLAN PRIOR TO CONSTRUCTION.

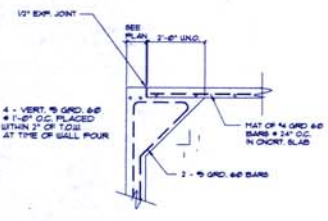
97-046
97-047
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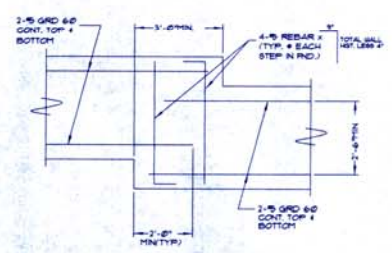
BEAM POCKET DETAIL



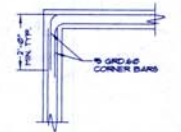
TYP. STUD WALL BEAM POCKET



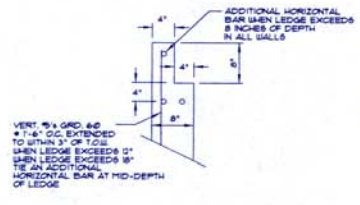
TYP. HAUNCH DETAIL



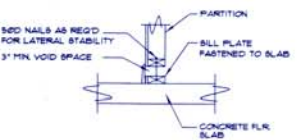
TYP. FOUNDATION STEP REINFORCEMENT



TYP. CORNER REINFORCEMENT



INTERIOR LEDGE DETAIL



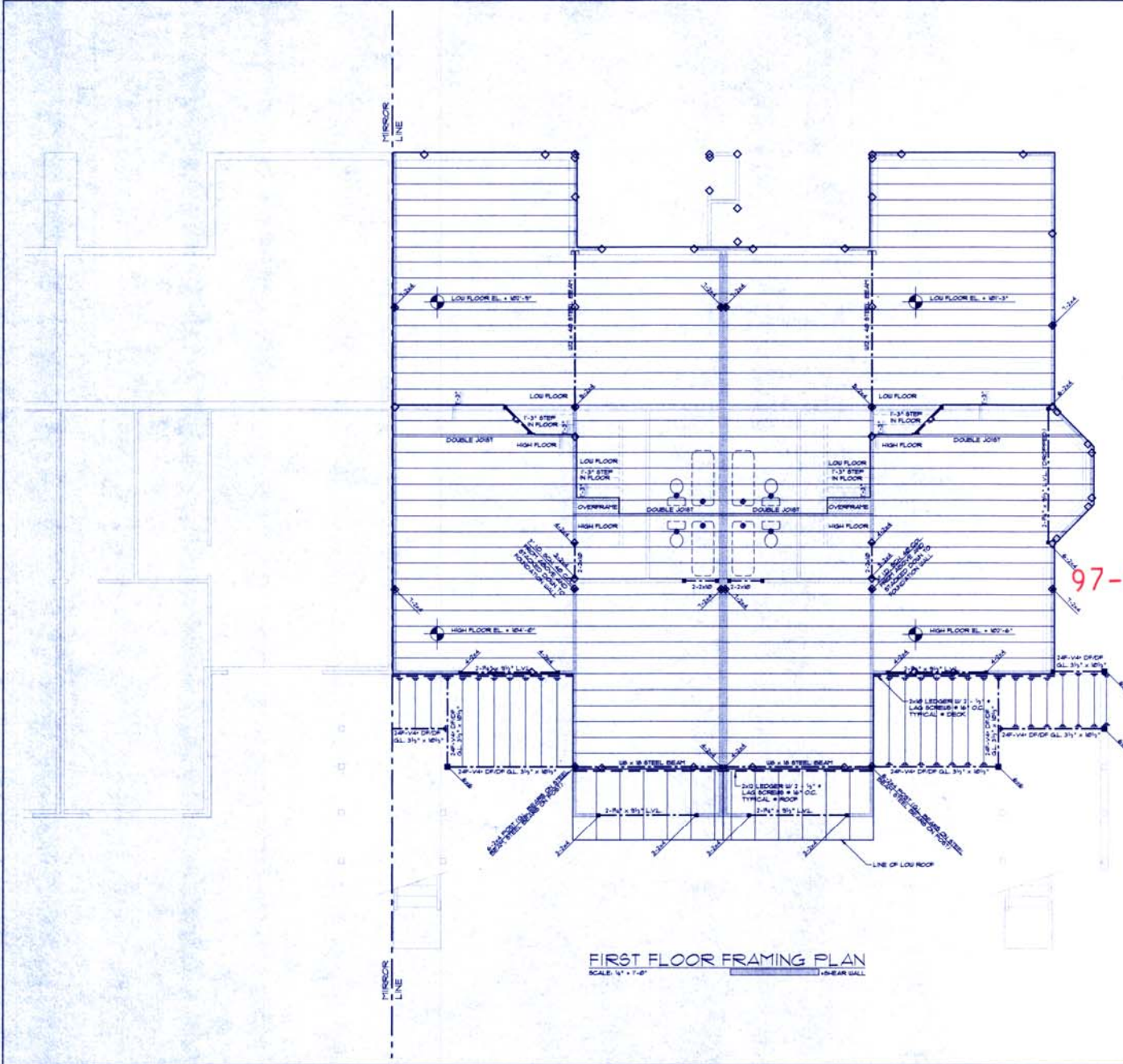
TYP. NON-LOAD BRG. PARTITION



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REVISION: BY/DATE

SHEET NUMBER
S9



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

SEE SHEET 08 FOR GENERAL FRAMING NOTES
ALL FLOOR FRAMING SHALL BE 5/8" TJI/86 @ 16" O.C.
ALL DECK FRAMING SHALL BE 2x10 @ 16" O.C.
ALL LEDGERS SHALL BE ANCHORED W/ 2 - 3/4" LAG SCREWS @ 16" O.C.
ALL BEAMS & HEADERS SHALL BE 2 - 2x10 @ 2x4 WALLS UNLESS NOTED OTHERWISE
FIRST FLOOR PLATE HEIGHT ABOVE RAISED AREA = 8'-0 1/4"
FIRST FLOOR PLATE HEIGHT ABOVE DROPPED AREA = 5'-3 1/4"
SECOND FLOOR PLATE ABOVE FINISHED FLOOR = 8'-0 1/4"
SEE SHEET A-22 FOR ROOF TRUSS BEARING ELEVATIONS
SEE SHEET A-23 FOR PLATE HEIGHT COORDINATION
ALL ROOF FRAMING SHALL BE WOOD TRUSSES OR 2x12 RAFTERS @ 24" O.C.
UNLESS NOTED OTHERWISE
TRUSS CONNECTIONS SHALL BE PROVIDED BY TRUSS MANUFACTURER
OVERFRAMING SHALL BE PIGGY-BACK TRUSSES OR DESIGNED INTO TRUSS SYSTEM WHENEVER POSSIBLE
CONVENTIONAL OVER-FRAME MEMBERS AS REQUIRED:
2x8 FOR SPANS GREATER THAN 12'
2x8 FOR SPANS FROM 8' TO 12'
2x6 FOR SPANS LESS THAN 8'

FRAMING HANGER TABLE
(UNLESS NOTED OTHERWISE)

INSTALL ALL HANGERS PER MANUFACTURER'S SPECIFICATIONS

JOIST/BEAM	TOP FLANGE HANGER	FACE POINT HANGER
1-2x8	L208	L208
1-2x10	L210	L210
1-2x10	H4820-27	H4820-2
1-2x10	H420-79	H420
1-2x10	H4820-27	H4820-2
1-8x6	U725	U725
1-8x6	GLT/355	H60840
3/4" x 10 1/2" POST	-	H4240
3/4" x 10 1/2"	-	H60840

SHEAR WALL SCHEDULE

WALL LOCATION	BILL NAILING	TOE NAILING	SHEATHING MATERIAL	FIELD & EDGE NAILING
COMMON WALLS	6d COMMON NAILS @ 12" O.C.	6d COMMON NAILS @ 12" O.C.	5/8" TYME X INT. GYP. BOARD	6d COOLER NAILS @ 4" O.C. OR 1 1/2" x GA. STAPLES @ 4" O.C.
EXTERIOR WALLS	6d COMMON NAILS @ 12" O.C.	6d COMMON NAILS @ 8" O.C.	5/8" TYME X EXT. GYP. SHEATHING	6d COOLER NAILS @ 4" O.C. OR 1 1/2" x GA. STAPLES @ 4" O.C.
INTERIOR WALLS	6d COMMON NAILS @ 12" O.C.	6d COMMON NAILS @ 12" O.C.	5/8" TYME X INT. GYP. BOARD	6d COOLER NAILS @ 4" O.C.

ALL EDGES OF SHEAR WALL SHEATHING (EXT. OR INT.) SHALL BE BLOCKED CONTINUOUSLY
ALL EXTERIOR SHEAR WALLS TO HAVE 1/2" DIA. X 10" L. ANCHOR BOLTS @ 24" O.C. TYP. ALL INTERIOR SHEAR WALLS TO HAVE 1/2" DIA. X 12" EXPANSION ANCHORS @ 24" O.C. TYP. @ 4" EMBEDMENT IN SLAB.

BUILDING ONE